



## 2009 UDC January/February/March Updates

Presentation on

### 2009 Uniform Dwelling Code



Program and Code Update



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# You Should Have:

- **Handout – 2009 Wisconsin Unofficial Uniform Dwelling Code (UDC) - Green Book**
- **Handout -- 2009 Uniform Dwelling Code Update - Power Points**
- **Handout – Notice of Changes to the UDC**
- **Handout – UDC-Related Certification Details and a Letter on New Regulations for Elevators and Dumbwaiters Serving Dwelling Units.**
- **Brochure – Solid Fuel-Fired Water-Heating Appliances**

## 2009 - UDC Update Agenda Lake Delton

8:30	Administrative	Larry Swaziek
9:00	Comm 20 -21	Duane Hubeler
10:00	Break	Everyone
10:15	Comm 20 -21(cont'd)	Larry Swaziek
11:45	Lunch	Everyone
12:45	Comm 20 -21(cont'd)	Larry Swaziek
1:15	In-Floor Heating	Bill Stanton, Viega
2:15	Comm 22-23	Leroy Stublaski
2:45	Break	Everyone
3:00	Comm 22-23 (cont'd)	Leroy Stublaski

## 2009 - UDC Update Agenda Eau Claire

(Room # One)

8:30	Administrative	Larry Swaziek
9:00	Comm 20 -21	Jack Miller
9:45	Break	Everyone
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2:45	Break	Everyone
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## 2008 - UDC Update Agenda Eau Claire

(Room # Two)

8:30	Comm 22-23	Leroy Stublaski
10:00	Break	Everyone
10:15	In-Floor Heating	Bob Aagaard, Viega
11:15	Administrative	Jack Miller
11:45	Lunch	Everyone
12:45	Comm 20 -21	Jack Miller
2:15	Break	Everyone
2:30	Comm 22-23 (cont'd)	Larry Swaziek

# Administrative Update & New Code

- UDC Enforcement - State Contract
- Elevator/Conveyance Code Change
- Other Code Changes/Legislative Update
- **Next Code Change Cycle – April 1, 2009**
- UDC Contacts
- Websites

## UDC Enforcement Status

- New contracts with UDC inspection agencies have been entered into effective January 1, 2009. Some agencies have returned and others have not. Contract is good for 2 years, until December 31, 2010, and the department has the option to renew it for another 2 years.



# Municipal Enforcement Status

- As of January 20, 2009 municipalities with:
  - ◆ State enforcement – 388 (-65)
  - ◆ Municipal enforcement – 1315 (+66)
  - ◆ County enforcement – 147 (-1)
- There are 9 counties that provide countywide enforcement.

Adams

Chippewa

Eau Claire

Florence

Langlade

Marquette

Richland

Trempealeau

Waushara

- How can I find out if a municipality has local enforcement, county level enforcement or state level enforcement?
- You can go to the Safety and Buildings UDC program page and click on “There is enforcement of the UDC in all Wisconsin municipalities” on the right-hand side of the page.



Wisconsin Department of Commerce: S&B Uniform Dwelling Code Program (One- and Two-Family Dwelli - Microsoft Internet Ex...

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**There is enforcement of the UDC in all Wisconsin municipalities.**

See a PDF report for all [Wisconsin municipalities and their status as to enforcement of the UDC](#). This includes note of the contracted inspection agency, if there is state enforcement (some agencies have not yet returned the signed contracts). There is an instruction page for abbreviations used in the report.

Here is a [PDF map of the state inspection districts](#). Here is a PDF file showing the [inspection district contracted agencies](#).

Lists of registered [UDC Inspection Agencies and UDC Inspectors](#) are available from an index of S&B credential lists.

- Model ordinance for adoption of Wisconsin Uniform Dwelling Code, [PDF](#) or [Word 97](#) files (Updated May, 2007)
- Info on municipalities contracting with inspectors or inspection agencies, [PDF](#) or [HTML](#) files
- Info on establishing UDC enforcement fees, [PDF file](#)

PDF [brochure](#) "Building a Home in Wisconsin?"

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## Municipal UDC Enforcement Statuses and Contacts

After JANUARY 1, 2005 there will be statewide Uniform Dwelling Code (UDC) enforcement. This list (in alphabetical county order) provides the UDC enforcement status as of JANUARY 1, 2005 for municipalities per the following codes:

- Town, Village or City Enforcement by: S - State-Contracted Inspection Agency; C - County UDC Enforcement (see county entry for contact information); M - Municipality Enforcement;
- Single-Letter County Code: Y - UDC Enforcement by County; N - No County Enforcement

(Note that this list is subject to change as municipalities adopt or rescind municipal enforcement ordinances.)  
If a State Inspection Agency is listed, then you only need to contact them for new dwellings only (dwellings that did not have a WI Administrative Building Permit issued before 1/1/05 or footings and foundation installed by that date) - not for alterations and additions. Their permit fees are listed per the following:

- Fee 1 - Base price of permit for one- or two-family dwellings up to 800 square feet finished interior area, including finished basements, but not including garages, unfinished basements, breezeways, porches or decks. The fee for a duplex dwelling shall be calculated as for a single-family dwelling.
- Fee 2 - Cost per square foot beyond 800 square feet of finished interior area
- Fee 3 - Cost per square foot of non-finished areas including garages, breezeways, porches and decks and unfinished basements. (A finished basement has a finished ceiling.)
- Fee 4 - Any required inspection trips in excess of 8

In addition, the following fees are also applicable in state-contracted inspection agency areas:

- Permit applicants will also be charged an additional \$25 for the Wisconsin UDC Permit Seal.
- Fees for manufactured dwellings and manufactured homes shall be 2/3 of the normal fee for any closed-panel manufactured areas and full fee for site-built areas.
- Fees for dwellings with neither plumbing nor electrical systems shall be 2/3 of the normal fee.
- Fees for dwellings started prior to the earlier of permit issuance or prior to ten business days after permit application and no review action has taken place shall be an additional 25% of the normal fee.
- Fees for any separate footing and foundation approval shall be \$50.
- Fees for manufactured homes on slabs shall be 1/2 of the 800 square foot base fee.

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Muni Name Code	Address	Phone	UDC STATUS	State Inspection Agency Phone	Fee 1 Fee 2	Fee 3 Fee 4
TOWN OF CLINTON 0014	1441 11TH ST BARLON	54812 7155773777	M			
TOWN OF CRYSTAL LAKE 0016	164 22ND AVE COMSTOCK	54826 7158224612	M			
TOWN OF CUMBERLAND 0018	1876 7TH ST CUMBERLAND	54829 7155776154	M			
TOWN OF DALLAS 0020	517 14-1/2 ST DALLAS	54733-964 7158370339	M			
TOWN OF DOVRE 0022	286A 3-1/2 AVE NEW AUBURN	54757-875 7152372170	M			
TOWN OF DOYLE 0024	1231 24TH ST RICE LAKE	54868-936 7152347777	S	Building Inspections Northwest (715)458-3160	\$300.00 \$0.00	\$0.00 \$40.00
TOWN OF LAKELAND 0026	612B 29 1/2 AVE BARLONETT	54813-942 7158222775	M			
TOWN OF MAPLE GROVE 0028	652 14-1/2 ST DALLAS	54733 7158374106	M			
TOWN OF MAPLE PLAIN 0030	2509 SECOND ST CUMBERLAND	54829-948 7158222902	M			
TOWN OF OAK GROVE 0032	2750 23-1/2 ST RICE LAKE	54868-976 7152349282	S	Building Inspections Northwest (715)458-3160	\$300.00 \$0.00	\$0.00 \$40.00
TOWN OF PRAIRIE FARM 0034	624 1ST AVE PRAIRIE FARM	54762-940 7159242589	M			
TOWN OF PRAIRIE LAKE 0036	794 21ST ST CHEYK	54728-972 7159242589	M			
TOWN OF RICE LAKE 0038	1850 MACAULEY AVE RICE LAKE	54868 7152348887	M			
TOWN OF SIOUX CREEK 0040	1849 1/4 AVE NEW AUBURN	54757-885 7158370754	M			
TOWN OF STANFOLD 0042	1448 23RD AVE RICE LAKE	54868 7152347877	S	Building Inspections Northwest (715)458-3160	\$300.00 \$0.00	\$0.00 \$40.00
TOWN OF STANLEY 0044	1328 18-3/4 ST CAMERON	54822 7154584783	M			

## •Municipal Responsibility

- If the municipality initially has the state provide the enforcement, it may decide at a later date to provide its own enforcement.
- To do that it must adopt an ordinance specifying that it is providing enforcement and must employ or contract with an inspector(s) or inspection agency either of which has the appropriate UDC credentialed inspector(s).
- In accordance with Comm 20.06 (1) (b) the municipality intending to exercise jurisdiction shall notify the department, in writing, at least 30 days prior to the date upon which it intends to exercise jurisdiction.
- A sample UDC ordinance for adoption may be found on the S & B UDC Program webpage.



**Dwelling Contractor**  
**&**  
**Dwelling Contractor Qualifier**  
**License**

Rules Became Effective -- January 1, 2008



## Dwelling Contractor Qualifier.

- A category called "Dwelling Contractor – Qualifier" was created to address the continuing education requirements.
  - It will be on a 2-year cycle.
  - The continuing education will be 12 hours every 2 years.
  - This credential belongs to a person



- **Comm 5.315 Dwelling contractor qualifier.**  
**(1) GENERAL.** The purpose of the dwelling contractor qualifier certification is to provide proof of fulfilling the continuing education obligations to the issuers of building permits as required under s. 101.654 (1) (a), Stats.

2. a. A statement which may be verified by the department that the person at any time from April 11 to April 14, 2006 was the applicant for, was a person eligible to apply for, or was the contact person for a dwelling contractor financial responsibility certification or dwelling contractor financial responsibility – restricted certification.
- b. This subdivision does not apply after September 1, 2009.
- c. The eligibility provisions under this subd. 2. a. may be used only once to obtain a dwelling contractor qualifier certification.

**Applying For Dwelling Contractor Qualifier Certification:** You may obtain a credential as a Dwelling Contractor Qualifier by submitting an application, an application fee, the credential fee, and one of the following (check the method that applies):

<p><b>Method 1</b> <i>Obtain Specific Initial Training</i></p> <p><input type="checkbox"/></p>	<p>Submit evidence that you have completed at least 12 hours in an approved initial qualifier course in dwelling construction within one year prior to the date of application.</p> <p><b>ATTACH</b> course provider verification that you have successfully completed an approved course and test.</p> <p>The following providers have courses approved to qualify a person for this license:</p> <table border="1"> <thead> <tr> <th>Course ID #</th> <th>Provider</th> <th>Telephone Number/web-site</th> <th>Course Name</th> </tr> </thead> <tbody> <tr> <td>8857</td> <td>Gary Klinka</td> <td>(920) 727-9200 www.garyklinka.com</td> <td>Internet_DCQ_Quiz</td> </tr> <tr> <td>8858</td> <td>Metropolitan Builders Association</td> <td>(262) 436-1122 www.mbaonline.org</td> <td>MBA New Contractor Qualifier Course</td> </tr> <tr> <td>8863</td> <td>Metropolitan Builders Association</td> <td>(262) 436-1122 www.mbaonline.org</td> <td>MBA New Contractor 12 Hour Series</td> </tr> <tr> <td>8864</td> <td>Educational Ingenuity Corp</td> <td>(804) 545-2901 www.eicwi.com</td> <td>Internet Dwelling Contractor 100</td> </tr> <tr> <td>8899</td> <td>NE WI Technical College Donald M. Jaworski</td> <td>(920) 498-5659</td> <td>Initial Qualifier Dwelling Contractor</td> </tr> </tbody> </table>	Course ID #	Provider	Telephone Number/web-site	Course Name	8857	Gary Klinka	(920) 727-9200 www.garyklinka.com	Internet_DCQ_Quiz	8858	Metropolitan Builders Association	(262) 436-1122 www.mbaonline.org	MBA New Contractor Qualifier Course	8863	Metropolitan Builders Association	(262) 436-1122 www.mbaonline.org	MBA New Contractor 12 Hour Series	8864	Educational Ingenuity Corp	(804) 545-2901 www.eicwi.com	Internet Dwelling Contractor 100	8899	NE WI Technical College Donald M. Jaworski	(920) 498-5659	Initial Qualifier Dwelling Contractor
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<p><b>Method 2</b> <i>Grand-fathering without Initial Training</i></p> <p><input type="checkbox"/></p>	<p>You were, at any time from April 11 to April 14, 2006, the Applicant or Contact for a Dwelling Contractor Financial Responsibility Certification or Dwelling Contractor Financial Responsibility – Restricted Certification. The Safety and Buildings Division has on file a record of such eligible persons.</p> <p>Also eligible for grandfathering is anyone that was the business owner, partner, chairman of the board or chief executive officer of a firm that held a dwelling contractor financial responsibility certification on those dates.</p> <p>This grandfathering option is not available after September 1, 2009 and may be used only once to obtain a Dwelling Contractor Qualifier Certification.</p> <p>Check below which relationship you held with a dwelling contractor that was state-certified anytime between April 11 and April 14, 2006 and enter the Safety &amp; Buildings Customer ID# for the business' Dwelling Contractor Financial Responsibility Certification:</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Applicant in WI Department of Commerce files</li> <li><input type="checkbox"/> Contact person in WI Department of Commerce files</li> <li><input type="checkbox"/> Business owner</li> <li><input type="checkbox"/> Partner</li> <li><input type="checkbox"/> Chairman of the board</li> <li><input type="checkbox"/> Chief executive officer</li> </ul> <p>Dwelling Contractor Financial Responsibility Certification Customer ID#: _____</p>																								

**(3) RENEWAL.** (a) 1. A person may renew his or her certification as a dwelling contractor qualifier.

2. A dwelling contractor qualifier certification shall be renewed in accordance with s. Comm 5.07.

(b) 1. The renewal of a certification as a dwelling contractor qualifier shall be contingent upon the individual obtaining at least 12 hours of acceptable continuing education within the time period specified in s. Comm 5.08 and Table 5.06, except as provided in subd. 2.

- How does this affect municipal, county and state contracted UDC inspectors/permit issuers?



**Comm 20.09 (5) (c)** Pursuant to s. 101.65 (1m), Stats., a Wisconsin uniform building permit may not be issued to a person unless the person complies with all of the following, except as provided under s. 101.654 (1) (b) and (c) 2., Stats.:

**Note:** Section 101.654 (1) (b), Stats., exempts an owner of a dwelling who resides or will reside in the dwelling and who applies for a building permit to perform work on the dwelling from obtaining a dwelling contractor financial responsibility registration. Under s. 101.65 (1r), an owner who obtains a building permit needs to sign a statement advising the owner of the potential consequences of hiring a contractor to perform work under the permit who is not bonded or insured under s. 101.654 (2) (a), Stats.

(Part of Copy for Applicants)

## **Cautionary Statement To Owners Obtaining Building Permits**

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence of the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two-family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

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RESOURCES

- Contact S&B Staff
- Forms
- Codes
- Programs
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- Home Page

COMMERCE RESOURCES

- Home
- About Commerce
- Business

Home > Safety & Buildings

# Safety and Buildings Division Home Page

Contacts by <a href="#">topic /code number / program</a>	<a href="#">Office Locations</a>	<a href="#">Search</a> S&B records	<a href="#">Feedback</a>	<a href="#">Online Renewal Payment</a>
Sign up for program <a href="#">email messages</a>	<a href="#">Education Classes</a>	<a href="#">License Check</a>	<a href="#">Codes Online</a>	License <a href="#">Forms</a>

[Explanation of Dwelling Contractor Education](#)

Daily [News Updates](#)

Monthly Division-Wide [Report](#)

New regulations are effective February 1, 2009, for **storing, transporting and dispensing flammable, combustable and hazardous liquids** (Chapter Comm

- [Amusement Rides/ Ski Lifts](#)
- [Boilers and Pressure Vessels](#)
- [Commercial Buildings](#)
- [Electrical](#)
- [Mine Safety](#)
- [One- and Two-Family \(UDC\)](#)
- [Plumbing](#)
- [Private Onsite Wastewater](#)
- [Public Sector Employee](#)

- **REGULATION OF CONVEYANCES**

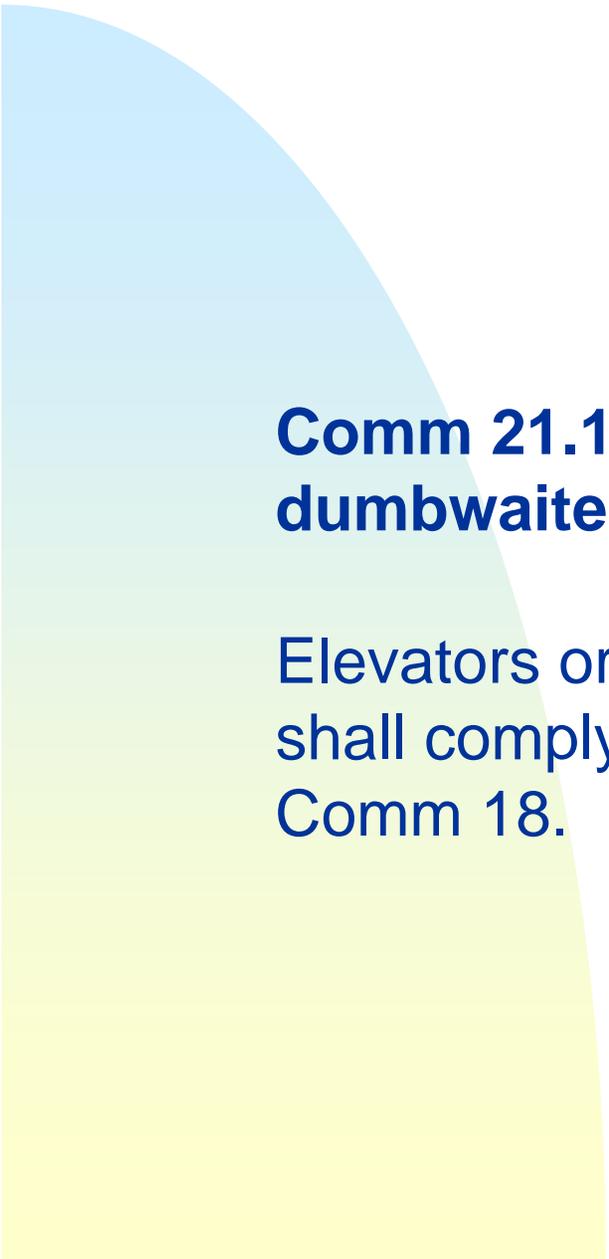
**New regulations for  
elevators and  
dumbwaiters serving  
individual residential  
dwelling units,  
effective January 1, 2009.**



**See letter of December  
18, 2008.**







## **Comm 21.115 Installation of elevators or dumbwaiters.**

Elevators or dumbwaiters serving dwelling units shall comply with the requirements under ch. Comm 18.

➤ **Comm 5.37 Elevator contractors.**

➤ **Comm 5.38 Elevator installers.**

(1) A licensed elevator mechanic.

(2) A registered elevator apprentice.

(3) A registered elevator helper.

➤ **Comm 5.64 Elevator inspectors.**



# 2009 Code Changes

Effective April 1, 2009



# **Chapter Comm 20**

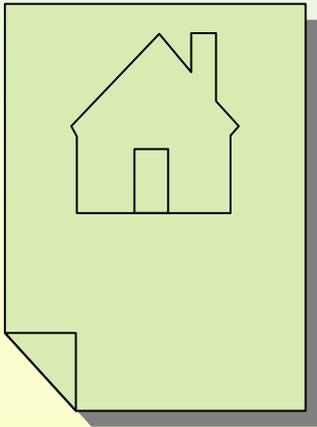
## **– Administration and Enforcement**

\*\* EFFECTIVE APRIL 1, 2009

- **Comm 20.02(1)** The provisions of this code apply to all of the following:

(h) Adjacent, unattached structures listed under par. (g) that serve an exit from a dwelling.

(g) All garages, carports, porches, stoops, decks, balconies, stairways and similar structures that are attached to any building covered under this section that was constructed or had a production date on or after the effective dates under s. Comm 20.03.



\*\* EFFECTIVE APRIL 1, 2009

## **Comm 20.04(5) REUSE OF A DWELLING OR FOUNDATION.**

*(a) Existing dwelling or manufactured home placed on a different foundation. Where an existing dwelling or manufactured home is placed on a different foundation, the new foundation is considered an addition or alteration to the existing dwelling or manufactured home.*

**Note:** The applicability of this code to an addition or alteration to an existing dwelling or manufactured home is determined by the original date of construction of the dwelling or manufactured home and is not altered by any movement of the structure.

\*\* EFFECTIVE APRIL 1, 2009

**Comm 20.04(5) REUSE OF A DWELLING OR FOUNDATION.**

*(b) New dwelling or manufactured home. A new dwelling or manufactured home placed on a new or existing foundation shall meet the permitting, construction and inspection requirements of a new dwelling or manufactured home.*

\*\* EFFECTIVE APRIL 1, 2009

- **Comm 20.04 (6) SEPARATED BUILDINGS.** For a building to be considered a separate single-family dwelling or a separate two-family dwelling within the scope of this code, regardless of ownership or occupancy arrangements, all of the following conditions shall be met:
  - See an example in the Notice of Changes to the UDC Document.

\*\* EFFECTIVE APRIL 1, 2009

- **Comm 20.05(6) FARM BUILDINGS.** The provisions of this code do not apply to the buildings used exclusively for farm operations and not for human habitation.



\*\* EFFECTIVE APRIL 1, 2009

**Comm 20. .05(9) MOTOR HOMES AND RECREATIONAL VEHICLES.** The provisions of this code do not apply to motor homes and recreational vehicles that are, or have been, titled through the department of transportation.

**Note 1:** Section 340.01 (33m) and (48r), Stats., read as follows: “Motor home” means a motor vehicle designed to be operated upon a highway for use as a temporary or recreational dwelling and having the same internal characteristics and equipment as a mobile home.

“Recreational vehicle” means a vehicle that is designed to be towed upon a highway by a motor vehicle, that is equipped and used, or intended to be used, primarily for temporary or recreational human habitation, that has walls of rigid construction, and that does not exceed 45 feet in length.

**Note 2:** A "park model" is a recreational vehicle.



\*\* EFFECTIVE APRIL 1, 2009

## \* NEW NOTE:

**Note 2:** In accordance with Wis. Stat. s. 342.05 (1), the owner of a (recreational) vehicle, whether or not such vehicle is operated on any highway of this state, shall make application for certificate of title for the vehicle with the department of transportation. Examples of recreational vehicles are: travel trailer, 5th wheel and "park model". Recreational vehicles are normally constructed to the standards: ANSI/NFPA 1192, Standard for RV's, and NFPA 70, National Electrical Code. Recreational vehicles require a towbar (hitch), chassis, axles and wheels for transportation. At the installation site, the chassis and axles shall remain on the unit, with the towbar (hitch) and wheels left at the site. Otherwise the unit, including a park model, is subject to the UDC.



\*\* EFFECTIVE APRIL 1, 2009

**Comm 20.065 State jurisdiction. (1)** In accordance with s. 101.64 (8), Stats., municipalities administering the code may be monitored by the department for compliance with the administrative requirements under this code.

**(2)** In accordance with s. 101.653 (5), Stats., municipalities administering the code may be audited by the department for compliance with the erosion control requirements under this code.

**Comm 20.07 (5m)** “Attached,” defining the relationship between another building and a dwelling, means at least one of the following conditions is present:

(a) There is a continuous, weatherproof roof between the two structures.

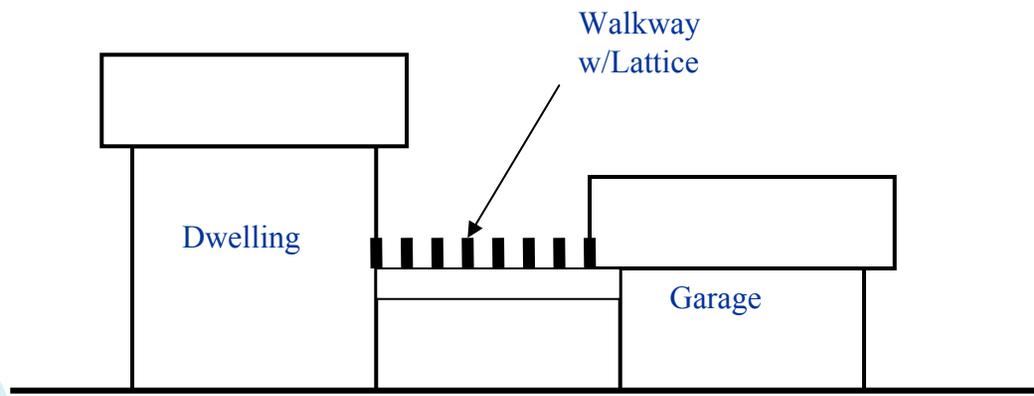
**Note:** The sides are not required to be enclosed with walls.

(b) There is a continuous, structural floor system between the two structures.

(c) There is a continuous foundation system between the two structures.

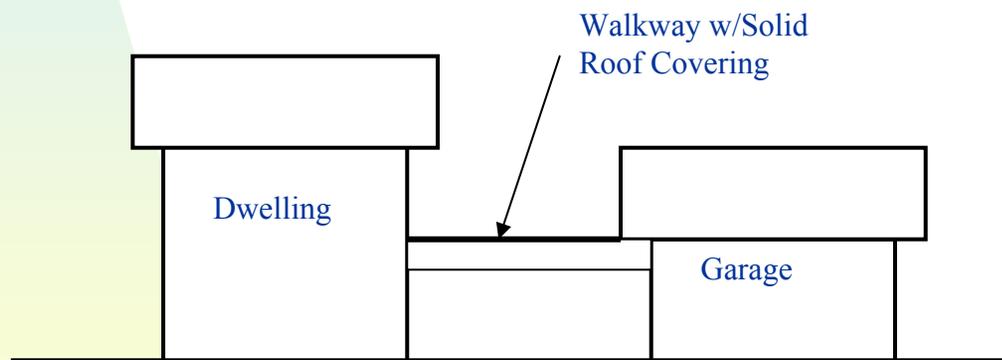


\*\* EFFECTIVE APRIL 1, 2009



**Not within scope  
of UDC**

**Example One**



**Part of the Dwelling and  
within the scope of UDC**

**Example Two**

**Comm 20.07 (18)** “Common use area” means kitchens, hallways, basements, garages and all habitable rooms.

**Note:** These areas must meet the circulation requirements under s. Comm 21.03 (8).

**(37)** “Habitable room” means any room used for sleeping, living or dining purposes, excluding such enclosed places as kitchens, closets, pantries, bath or toilet rooms, hallways, laundries, storage spaces, utility rooms, and similar spaces.

\*\* EFFECTIVE APRIL 1, 2009

**Comm 20.07 (53f)** “Modular home” has the meaning given in s. 101.71 (6), Stats.



**Note:** Under s. 101.71 (6) (a), Stats., “ modular home” means any structure or component thereof which is intended for use as a dwelling and:

1. Is of closed construction and fabricated or assembled on-site or off-site in manufacturing facilities for installation, connection, or assembly and installation, at the building site; or
2. Is a building of open construction which is made or assembled in manufacturing facilities away from the building site for installation, connection, or assembly and installation, on the building site and for which certification is sought by the manufacturer.

(b) “ Modular home” does not mean any manufactured home under s. 101.91 or any building of open construction which is not subject to par. (a) 2.

\*\* EFFECTIVE APRIL 1, 2009

## **Comm 20.09 Procedure for obtaining uniform building permit.**

### **(5) REQUIRED PLANS.**

- (b) *Floor plan.* 1. Floor plans shall be provided for each floor.
- 2. The following features shall be included on all floor plans:
  - d. *The location and construction details of the braced wall lines.*

\*\* EFFECTIVE APRIL 1, 2009

**Comm 20.10 Inspections.**(2) (b) 3. Construction may proceed if the inspection has not taken place by the end of the second business day following the day of notification or as otherwise agreed between the applicant and the municipality or authorized UDC inspection agency.



\*\* EFFECTIVE APRIL 1, 2009

## Comm 20.10 Inspections.

### 3) INSPECTION TYPES.

- (c) *Foundation excavation inspection.* 1. The excavation for the foundation shall be inspected after the placement of any forms or required reinforcement and prior to the placement of the permanent foundation material.
2. If a drain tile system is required, by the local inspector or by groundwater levels in the excavation, the presence and location of bleeders used to connect the interior and exterior drain tile shall be inspected at the same time as the excavation.

**Note:** This excavation inspection may be used to determine the need for drain tile under s. Comm 21.17.

## Comm 20.10 Inspections.

### 3) INSPECTION TYPES.

(d) *Foundation reinforcement inspection.* The placement of reinforcement shall be inspected where the reinforcement is required for code compliance.



\*\* EFFECTIVE APRIL 1, 2009

## Comm 20.10 Inspections.

### 3) INSPECTION TYPES.

(h) *Final inspection.*

2. Occupancy may proceed in accordance with local ordinances if the inspection has not been completed by the end of the fifth business day following the day of notification or as otherwise agreed between the applicant and the department or municipality.



\*\* EFFECTIVE APRIL 1, 2009

## **Comm 20.21 (1) (intro.) APPEALS OF ORDERS AND DETERMINATIONS BY A MUNICIPALITY EXERCISING JURISDICTION.**

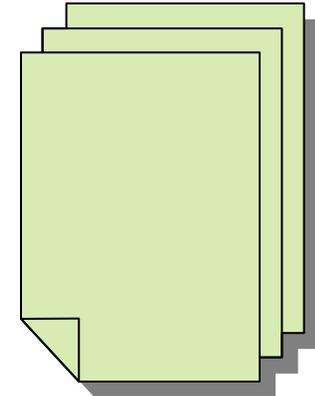
Appeals of order or determination of a municipality exercising jurisdiction under this code, including denials of application for permits, shall be made in accordance with the procedure set out in ch. 68, Stats., prior to making an appeal to the department, except as follows:

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## Comm 20.24 New and updated standards adopted;

- ACI 318 – 05
- ACI 530 – 05
- ACI 530.1 – 05
- NDS – 2005
- ANSI/AF&PA PWF – 2007
- AISC 360 – 05
- SEI/ASCE 32 – 01
- ASHRAE 2005 Fundamentals
- ASHRAE 2003 HVAC Applications
- ASHRAE 2004 HVAC Systems & Equipment
- SMACNA Seventh Edition, 2003 Fibrous Glass Duct Construction Standards
- TPI 1 – 2002
- NAIMA 3rd Edition, 2002 Fibrous Glass Residential Duct Construction Standards
- NFPA 13D – 2002
- NFPA 54 – 2006
- ICC/ANSI 400-2007 Standard on the Design and Construction of Log Structures
- ILBA 2000, Section A Log Building Standard



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# **Chapter Comm 21**

## **– Construction Standards**

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Comm 21.02 (1) (c) 2. , 3. and note.

Relocated the fastening requirements of roof framing members to the top plate to new section Comm 21.27 (3) (b), roof anchorage

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**Comm 21.02 (3) (b) 3.** Sawn lumber that is not graded in accordance with the standards under subd. 1., shall use the NDS published allowable design stresses for the lumber species using grade number 3 when used for studs, (stair) stringers, rafters or joists and may use grade number 1 when used for beams, posts or timbers.

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2007 Wisconsin Act 208  
Self-Grading of Lumber  
Became law on April 22, 2008

Unofficial Text (See Printed Volume). Current through date and Register shown on Title Page.

Species and Grade	Size	Design Value in Bending, "Fb"		Modulus of Elasticity "E"
		Normal Duration	Snow Loading	
<b>Eastern White Pine</b>				
Select Structural	2x4	2155	2480	1,200,000
No.1		1335	1535	1,100,000
No.2		990	1140	1,100,000
No.3		605	695	900,000
Stud		570	655	900,000
Construction		775	895	1,000,000
Standard		430	495	900,000
Utility		200	230	800,000
Select Structural	2x6	1870	2150	1,200,000
No.1		1160	1330	1,100,000
No.2		860	990	1,100,000
No.3		525	600	900,000
Stud		520	595	900,000
Select Structural	2x8	1725	1985	1,200,000
No.1		1070	1230	1,100,000
No.2		795	915	1,100,000

Comm 21.02 (3) (g) *Whole logs.* Dwellings constructed of whole logs shall conform to the following standards:

1. ILBA Log Building Standards for Residential, Handcrafted, Interlocking, Scribe-fit Construction.

***Note:*** *This standard requires the minimum log diameter to be 8 inches.*

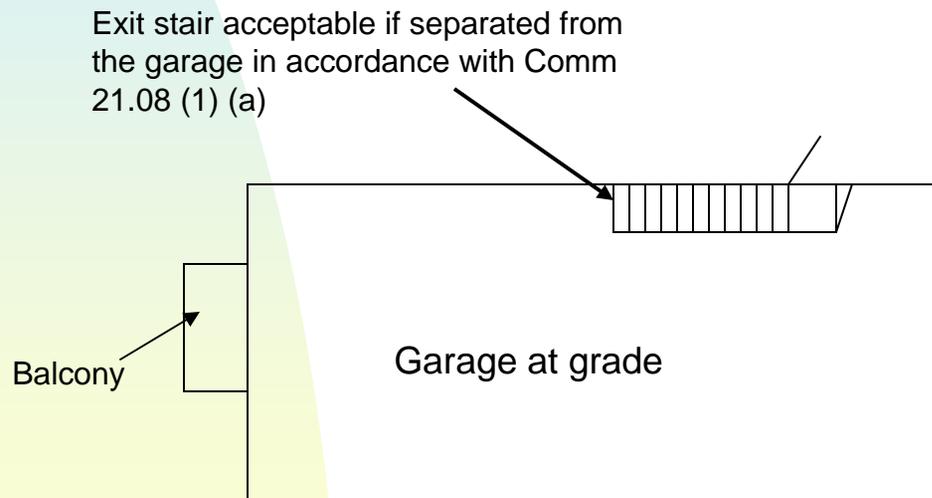
2. ICC/ANSI 400, Standard on the Design and Construction of Log Structures.

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Example of Scribe-fit Construction

**Comm 21.03 (1) (b)** At least one of the exits shall discharge to grade and may not go through a garage. This exit may include interior or exterior stairs.



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## Comm 21.03 (3) EXITS ABOVE THE SECOND FLOOR.

(b) A second stairway or ramp exit is not required for habitable areas on a third floor that meet all of the following requirements:

1. The habitable area consists of a single room.

**Note:** Non-habitable areas, such as closets and bathrooms may be partitioned off.

2. The room is not used for sleeping.

3. The habitable area has a floor area of 400 square feet or less.

4. There is at least one egress window meeting the requirements of sub. (6) in the habitable area.



## Comm 21.03 (3) EXITS ABOVE THE SECOND FLOOR.

(c) A second stairway or ramp exit is not required for habitable areas on a third floor that meet all of the following requirements:

1. The dwelling is fully sprinklered in accordance with NFPA 13R or NFPA 13D.
2. If a required exit includes an attached garage, the garage shall be sprinklered.

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**Comm 21.035 Interior circulation. (1) DOORS AND OPENINGS.** All doors and openings to the following areas shall be at least 80 inches high and provide either a net clear opening width of 30 inches or be a 32-inch door:

(a) Except as provided under pars. (b) and (c), all entrances into common use areas.

(b) At least 50% of the bedrooms.

(c) 1. At least one full bathroom, including doors or openings to a sink, toilet and tub or shower. If this bathroom is accessible only through a bedroom, the bedroom door shall meet the minimum width requirements of this section.

2. If one or more full bathrooms are provided on the first floor, the bathroom meeting the requirements under this section shall be on the first floor.

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**Note:** This section does not require a full bathroom on the first floor.

## Comm 21.035 Interior circulation

**(2) HALLWAYS.** (a) Except as allowed under par. (b), the clear width of hallways shall be at least 36 inches.

(b) The following are allowed to infringe on the required clear width of a hallway:

1. Door hardware and finish trim.
2. Handrails may infringe into the minimum width of a hallway up to 4½ inches on each side.



## **Comm 21.035 Interior circulation (2) (cont'd)**

3. Heating registers may infringe into the minimum width of a hallway up to 4½ inches and no part of the register may be more than 38 inches above the floor.
4. Ducts, pipes, light fixtures, structural features, and corner treatments that are within 84 inches of the floor may infringe into the minimum width of a hallway by a maximum of 4½ inches on each side.
5. Unlimited infringements are allowed in a hallway more than 84 inches above the floor.

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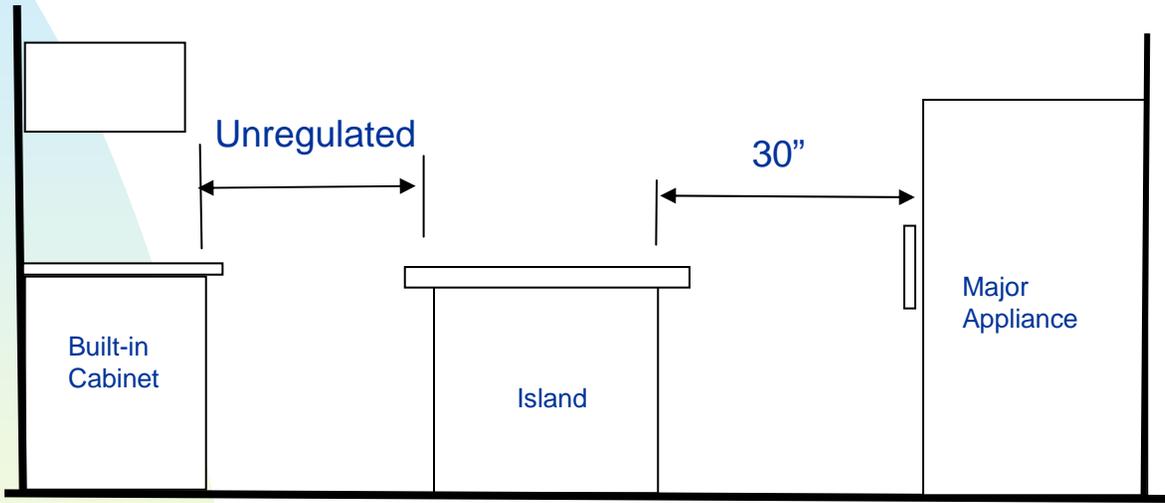
## Comm 21.035 Interior circulation.

(3) KITCHENS. (a) There shall be at least 30 inches of clearance between a wall, a permanently-installed kitchen island, permanently-installed kitchen cabinets and the following kitchen appliances, if provided:

1. A range, cook top or oven.
2. A sink, refrigerator or freezer.

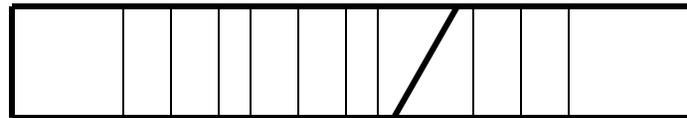
(b) Measurements shall be taken from the face of the wall, island, cabinet or appliance, ignoring knobs and handles.

**Note:** See ICC/ANSI A117.1 chapter 10 for more guidelines relating to doors and accessible routes. Under that standard, doors must be at least 80-inches in height and provide a minimum net clear opening of 31-3/4-inches in width in order to provide accessibility for people with disabilities.



**Comm 21.04 (2) (c) 3. c.** Winder treads may not be used on a straight stairway. (winders in series)

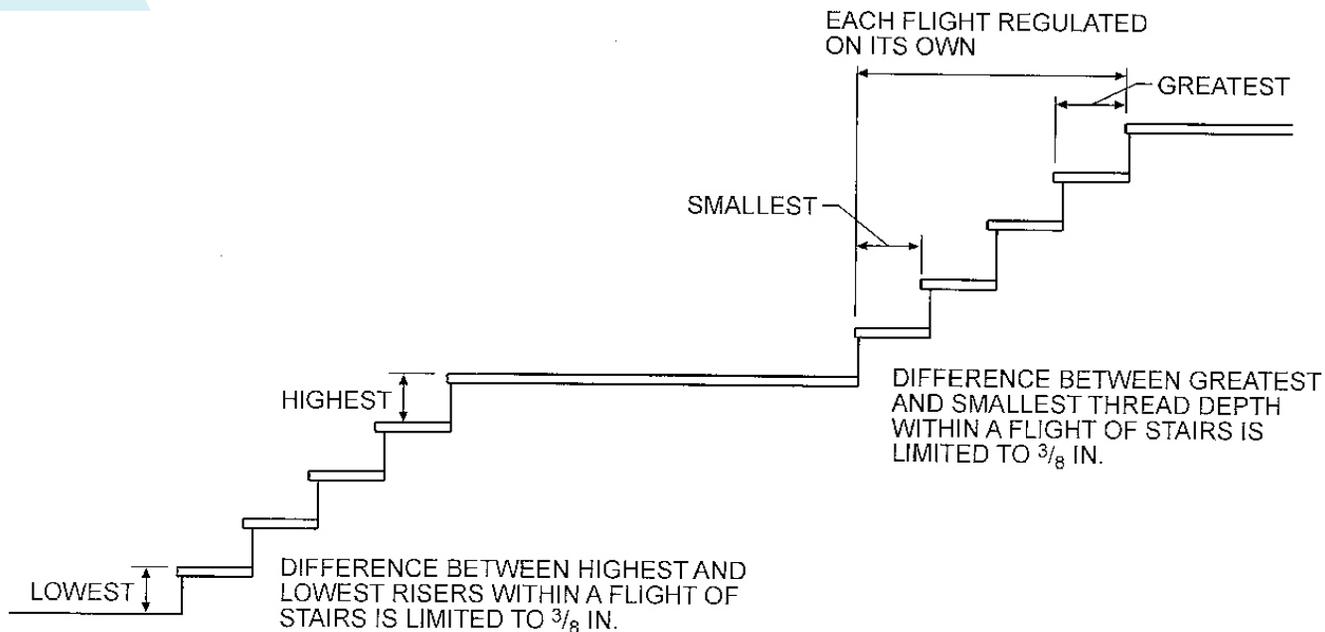
**Comm 21.04 (2) (c) 4. c.** Winder treads may not be used on a straight stairway (individual winders)



**NO!**

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**Comm 21.04 (2) (e) 1.** Within a stairway flight, the greatest tread depth may not exceed the smallest tread depth by more than  $\frac{3}{8}$  inch and the greatest riser height may not exceed the smallest riser height by more than  $\frac{3}{8}$  inch.



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## Comm 21.04 Stairways and elevated areas.

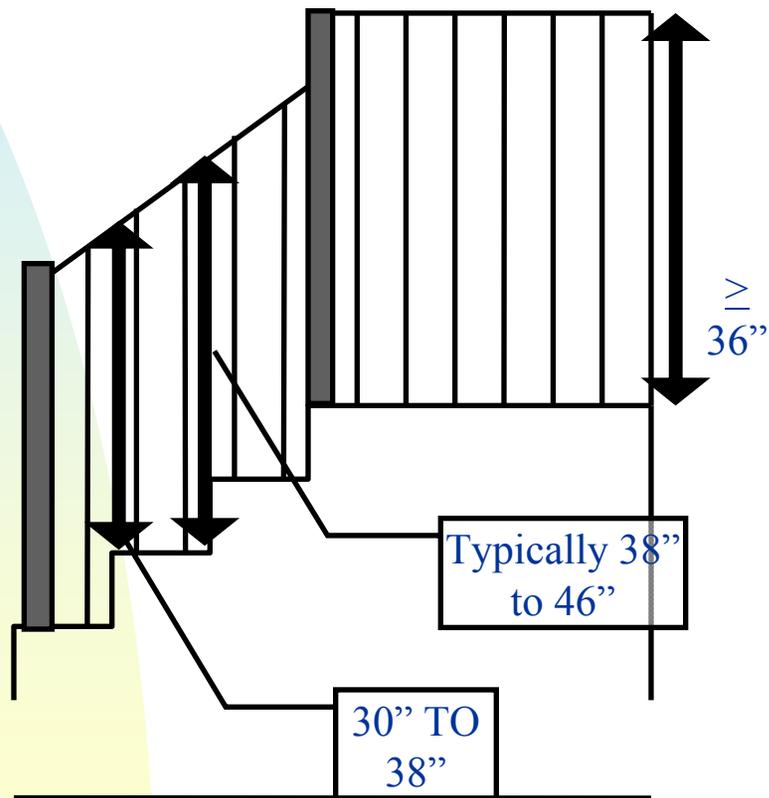
(2) (g) *Walking surface*. The walking surface of stair treads and landings shall be a planar surface that is free of lips or protrusions that could present a tripping hazard

### (3) (a) 2. Handrails and Guardrails

**Note:** A handrail provided at 30 to 38 inches above the tread nosing meets the height requirement for a guardrail on a stairway.

## Comm 21.04 (3) (a) 2. Note:

A handrail provided at 30 to 38 inches above the tread nosing meets the height requirements for a guardrail on a stairway.



## Comm 21.04 (3) (a) Handrails and Guardrails

3. c. Rope, cable or similar materials used in handrail or guardrail infill shall be strung with maximum openings of 3 ½ inches with vertical supports a maximum of 4 feet apart.

**Note:** In some cases, the vertical supports could be simple cable stays that offer vertical support to the rope or cable span. Structural posts must be supplied to provide the rail with the minimum 200 pound load resistance, as well as to resist the tensile loads exerted by the tightened rope or cable.



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**Comm 21.04 (3)** (c) 1. 'Application.' a. All openings between floors, and open sides of landings, platforms, balconies or porches that are more than 24 inches above grade or a floor shall be protected with guardrails.

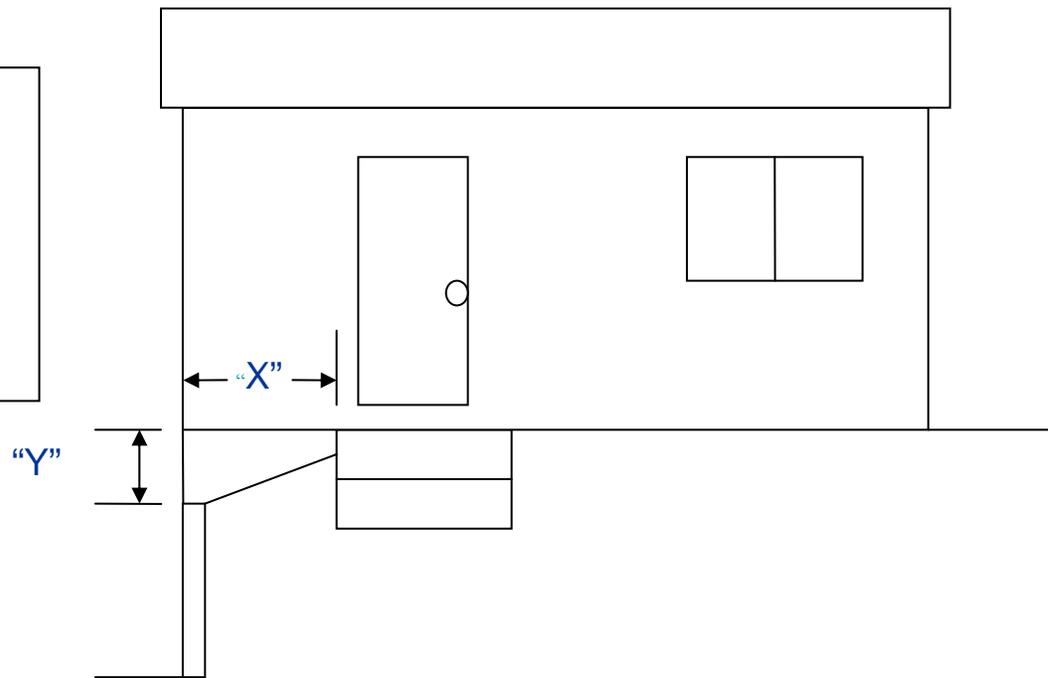
b. The requirements under subpar. a. apply where insect screens are the only means of enclosure or protection for a surface that is more than 24 inches above grade or a floor.

c. For exterior applications, the 24 inch vertical measurement shall be taken from the lowest point within 3 feet horizontally from the edge of the deck, landing, porch or similar structure.





If "X" is  $\leq 36$ ", and  
"Y" is  $> 24$ ", then,  
a guardrail is required on the  
left-hand side of the landing.



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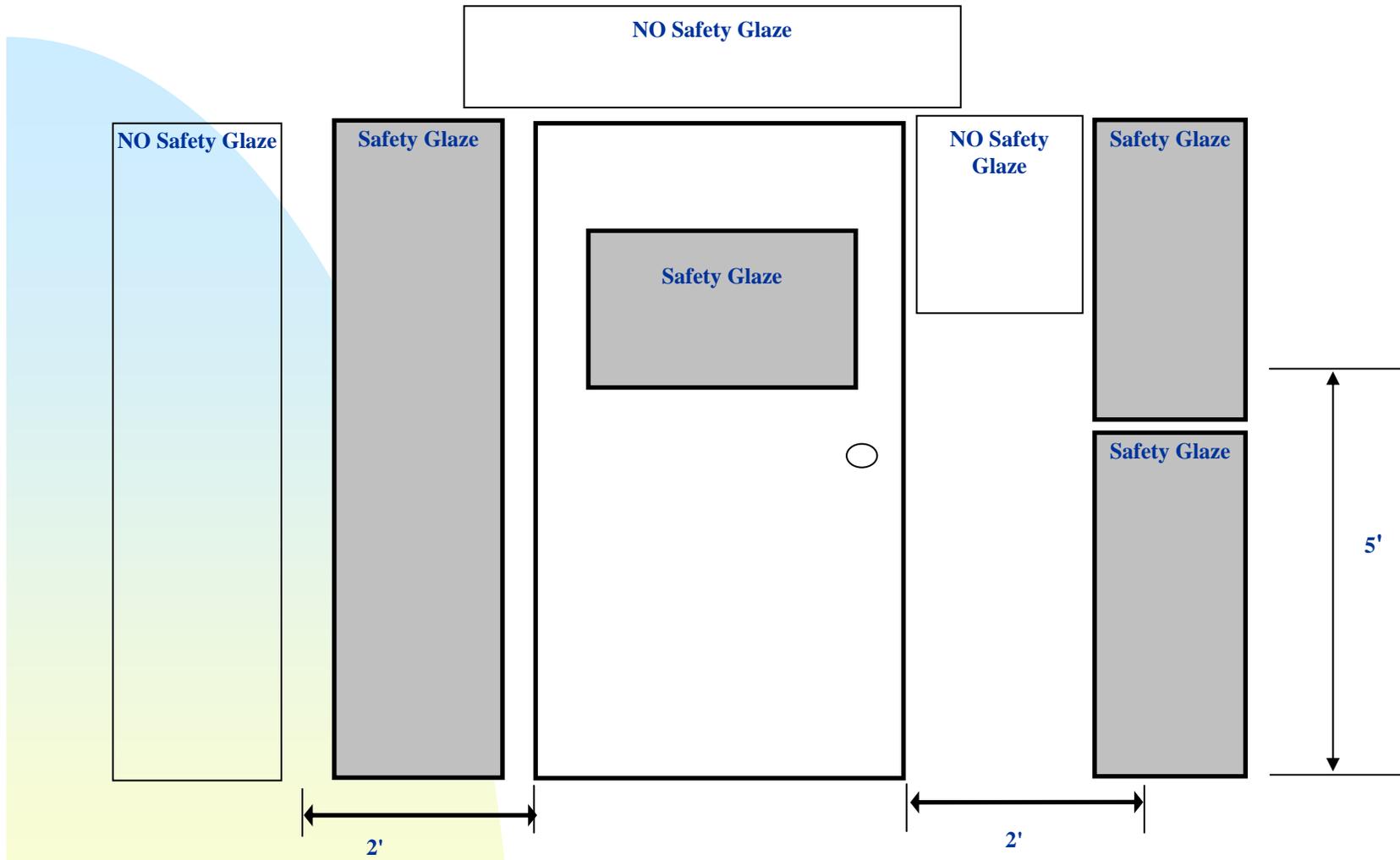
**Comm 21.05 (3) (intro.) SAFETY GLASS.**  
Except as provided in par. (e), glazing shall consist of safety glass meeting the requirements of CPSC 16 CFR, Part 1201 when installed in any of the following locations:

\*\* EFFECTIVE APRIL 1, 2009

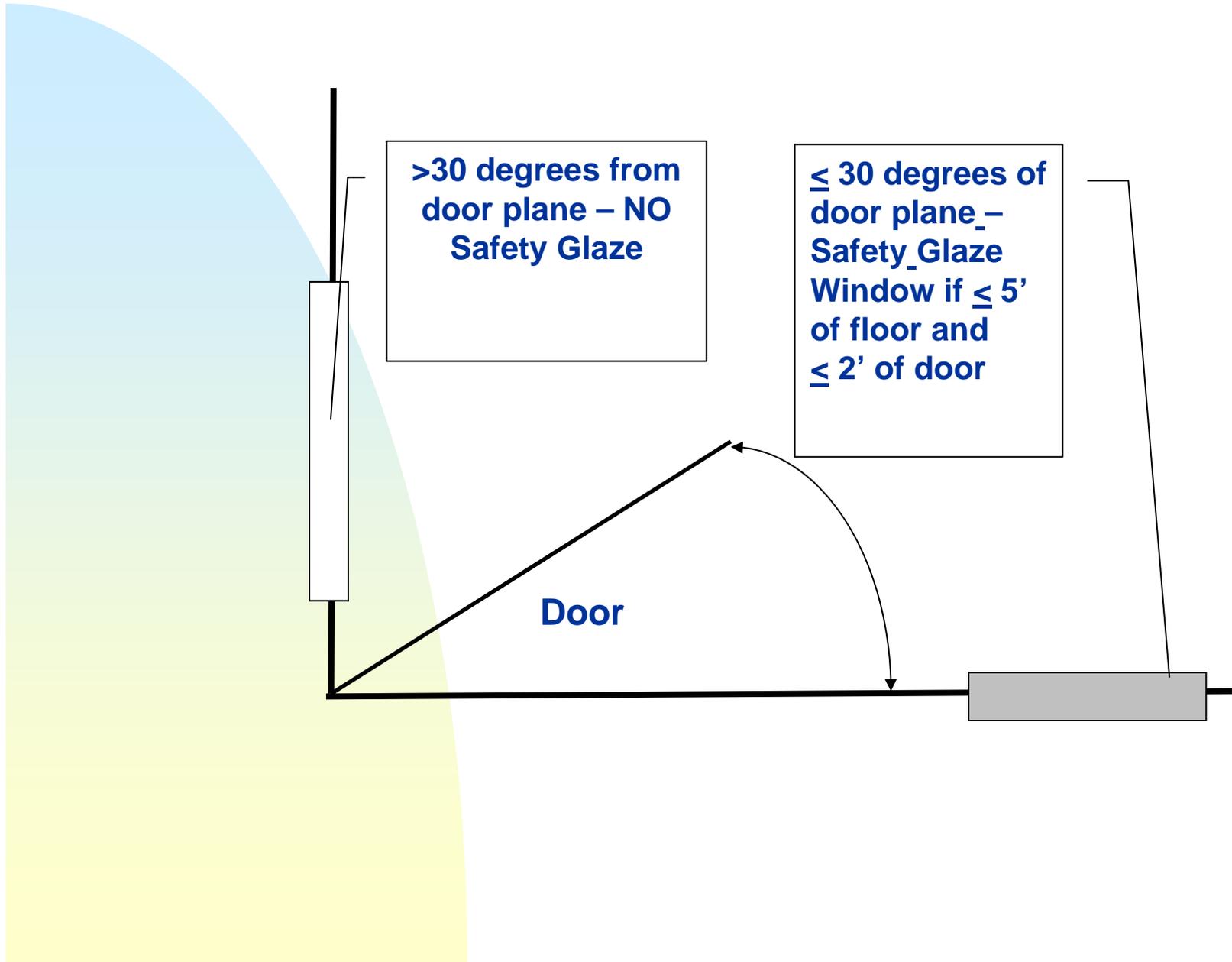
## Comm 21.05 (3) Safety Glazing

(a) In any sidelight or glazing adjacent to a door that meets all of the following:

1. The nearest point of the glazing is within 2 feet of the door.
2. The nearest point of the glazing is within 5 feet of the floor.
3. The plane of the glazing is within 30 degrees of the plane of the door when the door is in the closed position.

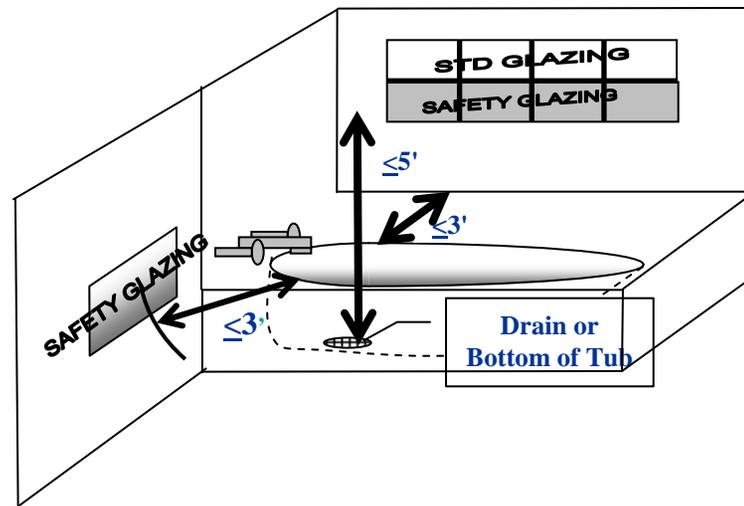


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## Comm 21.05 (3) Safety Glazing

(b) In any wall where the glazing is within 5 feet vertically of the lowest drain inlet and within 3 feet horizontally of the nearest part of the inner rim of a bathtub, hot tub, shower, spa or whirlpool appliance.



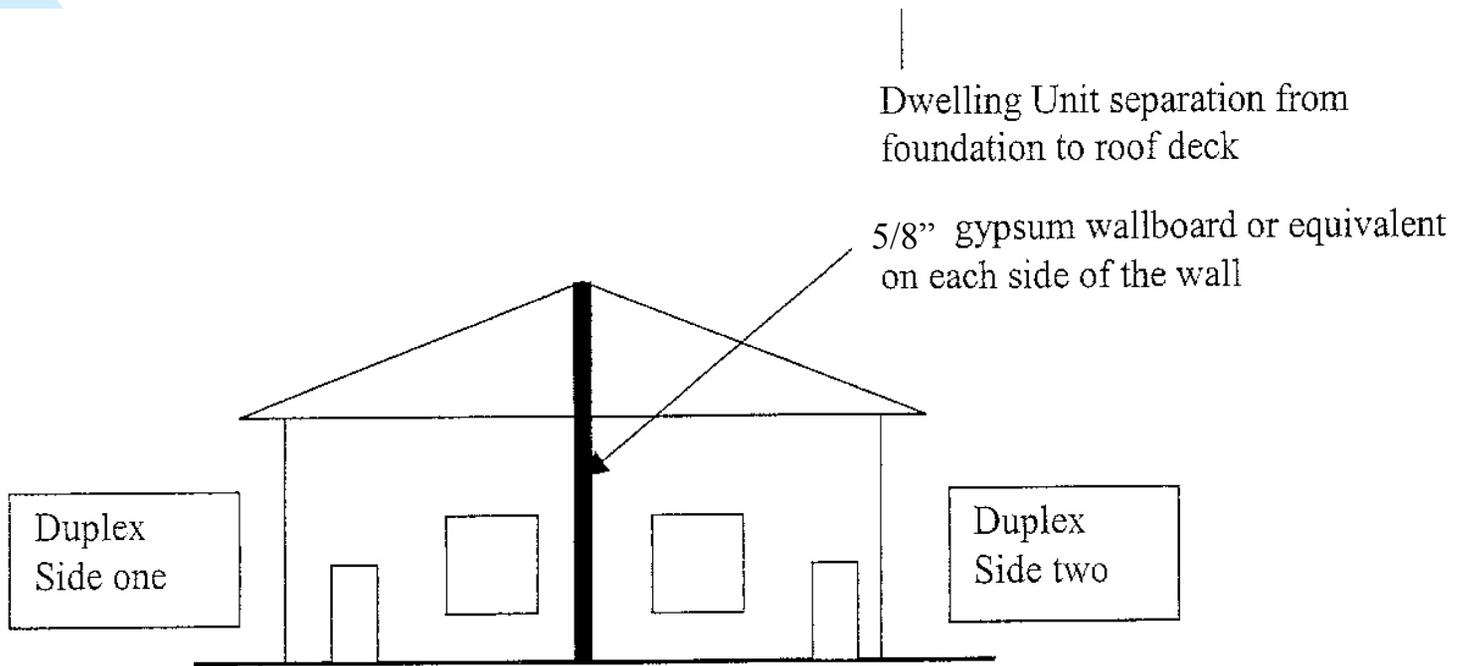
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Comm 21.08 (1) (intro.) FIRE SEPARATION.  
Dwelling units shall be separated from garage spaces, accessory buildings, property lines and other dwelling units in accordance with Table 21.08 and the following requirements:

Table 21.08 (partial table)

Between Single Family Dwelling And:	Distance Between Objects <sup>1</sup>	Fire Rated Construction <sup>2,5</sup>
<u>Zero Lot Line</u>	<u>None</u>	<u>Follow sub. (2) (d) requirements</u>

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**Comm 21.08 (1) (c) 2.**

Only glazing allowed by the door's listing may be installed in any door required under this section.

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**Comm 21.08 (1) (d) 1.** Access openings in fire separation walls or ceilings shall be protected in one of the following ways:

- a. The opening is protected with a material that has a finish rating of at least 20 minutes.
- b. The opening is protected in the same way as the wall or ceiling where the opening is located.

**Comm 21.08 (2) (b) Attic separation.** Dwelling units with attic space that extends over both units shall be separated in accordance with one of the following:

1. 'Complete separation.' The units shall be provided with wall construction under par. (d) that extends all the way to the underside of the roof deck.

2. 'Vertical and horizontal separation.' a. The units shall be provided with wall construction under par. (d) that extends to the dwelling unit ceiling and ceiling construction under par (e).

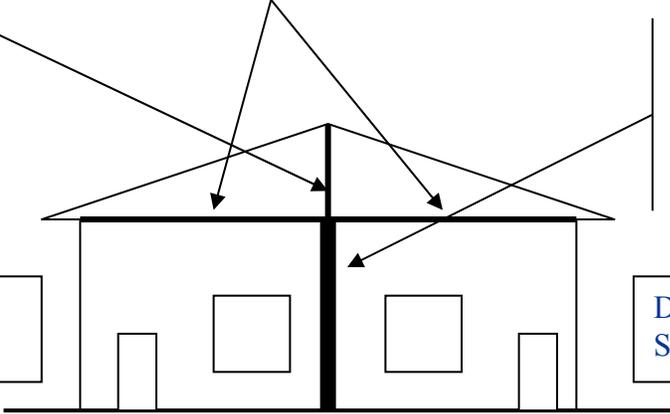
b. Dwelling units using this method of separation shall provide attic draft stopping under par. (f) that extends all the way to the underside of the roof deck above and in line with the separation wall.

Attic draft stopping wall in line with dwelling unit separation wall  
Attic separation wall in line with tenant separation wall  
- 3/8" wood structural panel  
- 1/2" gypsum board

5/8-inch Type "X" gypsum wallboard on ceiling

Dwelling Unit separation from foundation to ceiling  
- 5/8" gypsum wallboard or equivalent on each side of the wall

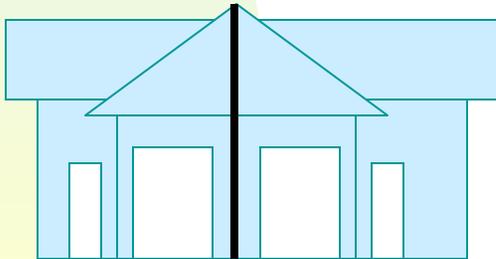
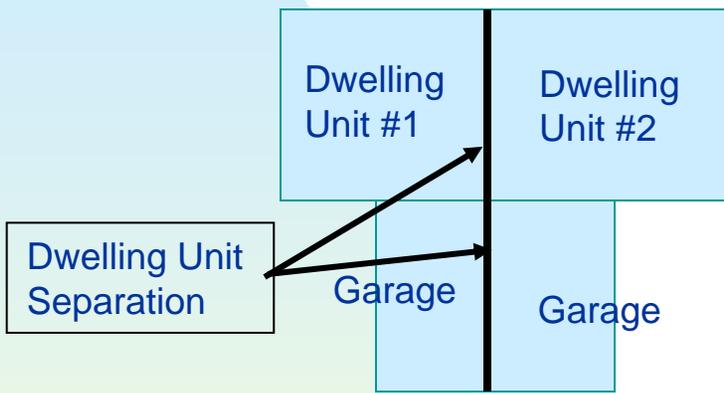
Duplex Side one



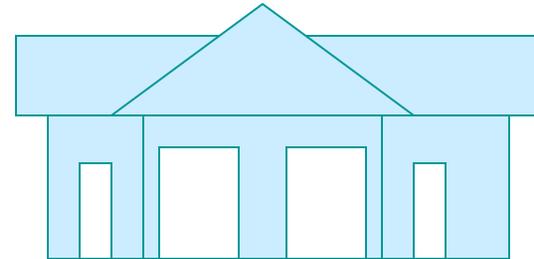
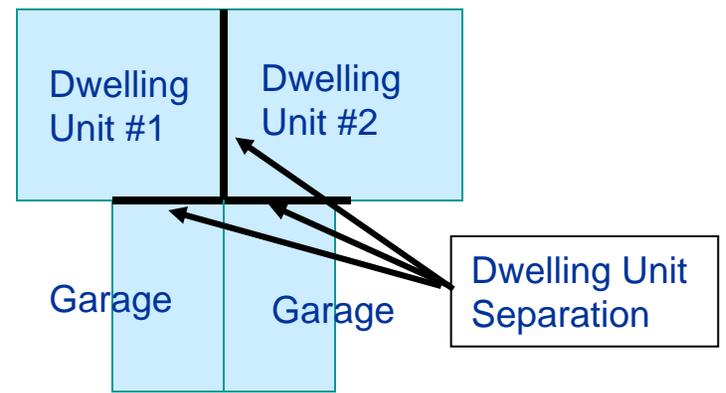
Duplex Side two

**METHOD #2**  
**Comm 21.08 (2) (b) 2**

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**Option 1**



**Option 2**

## Comm 21.08 (2) Dwelling Unit Separation

(c) *Walls.* Walls in the dwelling unit separation shall be protected by not less than one layer of 5/8-inch Type X gypsum wallboard or 2 layers of 1/2-inch gypsum wallboard or equivalent on each side of the wall with joints in compliance with sub. (1) (a) 2.

## Comm 21.09 Smoke Detectors

(1) (b) On floor levels that contain one or more sleeping areas, an alarm shall be installed outside of the sleeping rooms, in the vicinity of each sleeping area within 21 feet of the centerline of the door opening to the sleeping room.

(2) (a) Except for dwellings with no electrical service, smoke detectors required by this section shall be continuously powered by the house electrical service, and shall be interconnected so that activation of one detector will cause activation of all detectors.

(b) Dwellings with no electrical service shall be provided with battery-powered smoke detectors in the locations under sub. (1). Interconnection and battery-backup are not required in these dwellings.

**Comm 21.095 Automatic fire sprinklers. (1)**

Except as allowed under sub. (2), where automatic fire sprinklers using a dedicated water supply system are installed, the design, installation, testing and maintenance shall follow the requirements of NFPA 13D.



(2) Limited area dwelling systems are allowed.

## **Comm 21.10 Protection against decay and termites.**

**(1)** Wood used in any of the locations specified applications under this section shall meet all of the following requirements:

(a) The wood shall be labeled and pressure treated with preservative in accordance with an AWPA standard or shall be a naturally durable and decay-resistant species or shall be engineered to be decay resistant.

(b) The wood shall be pressure treated with preservative or shall be naturally termite resistant unless additional steps are taken to make the wood termite-resistant.

## Comm 21.10 Protection against decay and termites (Cont'd)

(2) (c) Floor joists exterior to the dwelling that are within 18 inches above exterior grade, unless protected with a moisture barrier.

**Note:** *Acceptable moisture barriers for this application include 3/4-inch exterior preservative-treated plywood, or ice dam protection material listed as meeting the requirements of ASTM D 1970 or vapor retarder material, provided they are protected from physical and UV light damage.*

## Comm 21.10 Protection against decay and termites (Cont'd)

(5) FASTENERS. (a) Fasteners for pressure-preservative treated wood and fire-retardant-treated wood shall meet one of the following requirements:

1. The fastener is a steel bolt with a diameter of 0.5 inch or greater.
2. The fastener is made of stainless steel.
3. The fastener is made of hot-dipped, zinc-galvanized steel with the coating weight and thickness labeled as complying with ASTM A 153.
4. The fastener is made of steel with a mechanically-deposited zinc coating labeled as complying with ASTM B 695, Class 55 or greater.
5. The fastener has coating types and weights in accordance with the fastener manufacturer's recommendations. In the absence of the manufacturer's recommendations subd. 1., 2., 3., or 4. shall apply.

**Note:** *"Zinc plated", "zinc coated", "chrome plated", etc. fasteners do not necessarily comply with either of these standards.*

## Comm 21.10 Protection against decay and termites (Cont'd)

(b) When a fastener is used with a hanger or other metal fixture, the fastener shall be of the same material as the hanger or metal fixture.

**Note:** *When separate pieces are in close contact, zinc corrodes rapidly in the presence of plain steel. Zinc corrodes much more rapidly in the presence of stainless steel.*

(c) For the purposes of this section, a fastener includes nails, screws and bolts, along with nuts and washers.



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**Comm 21.15 (1) General.** (a) The dwelling and attached structures, such as decks and garages, shall be supported on a structural system designed to transmit and safely distribute the loads to the soil.

(b) The loads for determining the footing size shall include the weight of the live load, roof, walls, floors, pier or column, plus the weight of the structural system and the soil over the footing.

(c) Footings shall be sized to not exceed the allowable material stresses.

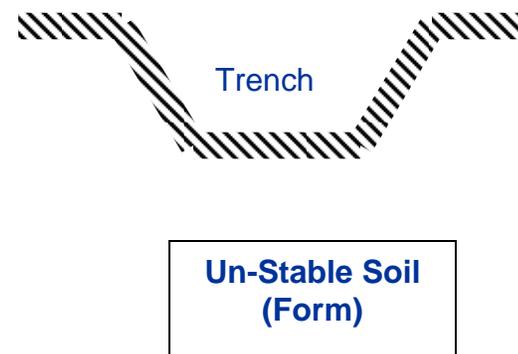
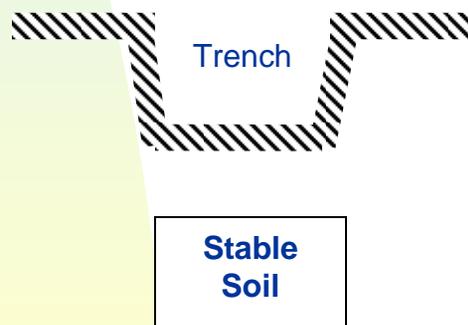
## **Comm 21.15 (1) (cont'd)**

(d) The bearing area shall be at least equal to the area required to transfer the loads to the supporting soil without exceeding the bearing values capacity of the soil.

(e) Structures supported on floating slabs or similar shallow foundations may not be physically attached to structures that are supported by footings that extend below the frost line unless an isolation joint is used between the structures. This isolation shall extend for the full height of the structure.

## Comm 21.15 (2) (a)

**Note:** Unstable soil includes soils that are unable to support themselves at a 90 degree angle for the full depth of the footing.



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**Comm 21.15 (2) (b) *Column or pier footing.***

1. The minimum width and length of column or pier footings shall measure at least 2 feet by 2 feet.

2. The minimum depth of column or pier footings shall measure at least 12 inches nominal.

**Comm 21.16 Frost protection. (1) GENERAL.** (a) Except as allowed under sub. (2), footings and foundations, including those for ramps and stoops, shall be placed below the frost penetration level or at least 48 inches below adjacent grade, whichever is deeper.

**(2) EXCEPTIONS.** (a) Frost protected shallow foundations shall be designed in accordance with ASCE–32 as adopted in Table Comm 20.24-5.

**Comm 21.17 (1) (a) 2.** For the purposes of this section, a complete drain tile or pipe system includes all of the following:

- a. The drain tile or pipe installed inside and outside the foundation, except as allowed under s. Comm 21.17 (3) (d) 1. b.
- b. Bleeders connecting the inside tile or pipe to the outside tile or pipe.
- c. The sump pit or crock.
- d. The discharge piping.
- e. A pump or other means of discharging water to grade.

## **Comm 21.17 (1)(b)2.**

For the purposes of this section, a partial drain tile or pipe system includes a means of discharging water from the tile or pipe and may include any of the other elements under par. (a) 2.

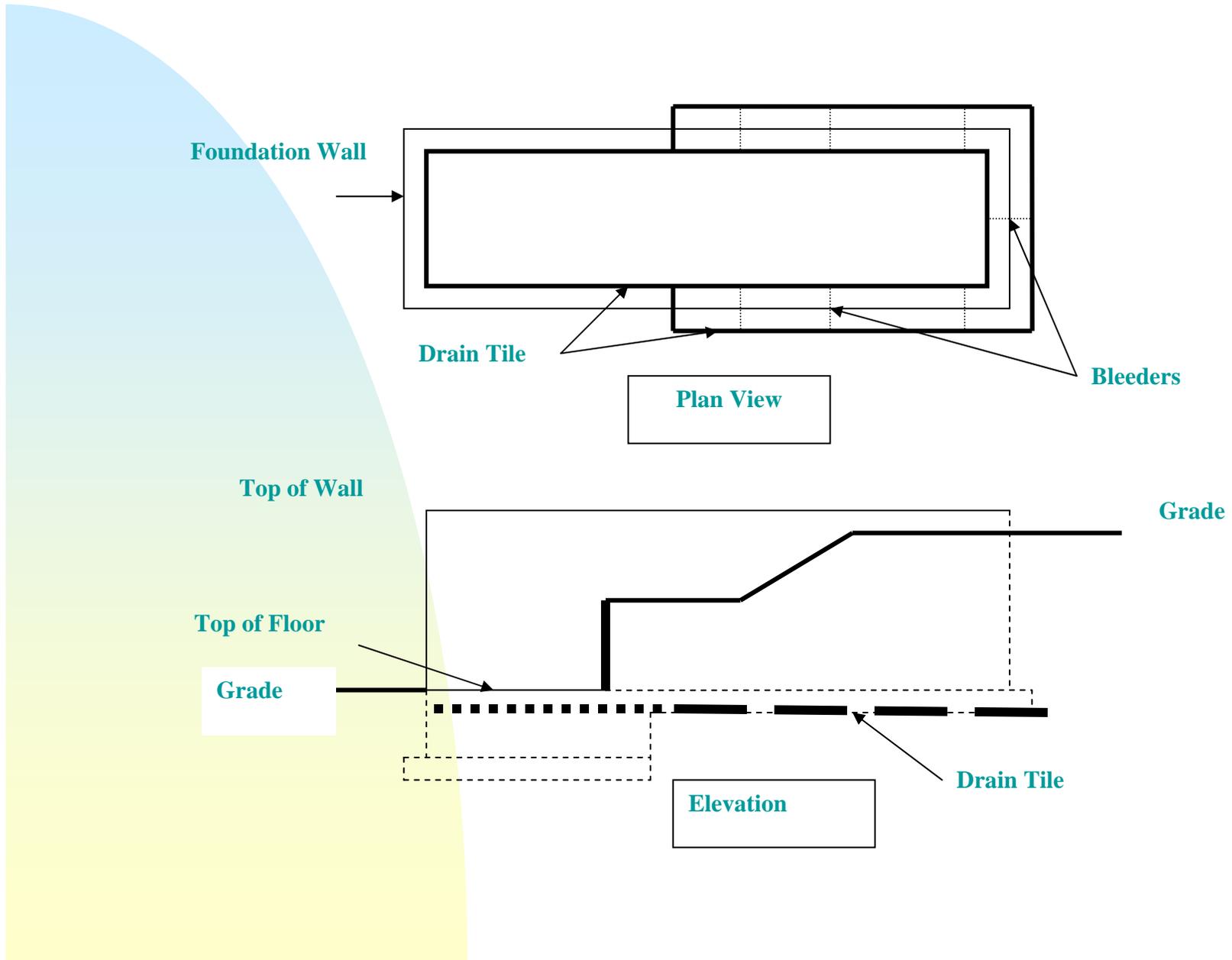
**Note:** Means of discharging water include a sump pit, a crock or natural means of drainage to daylight.

## Comm 21.17 Drain Tiles (Cont'd)

(3) (d) 1. a. Except as allowed under subpar. b., the top of the tile or pipe shall be at or below the top of the footing.

b. Where the top of the footing is more than 4 inches below the bottom of the floor slab, tile or pipe is required on the interior of the foundation only and it shall be placed directly under the floor.

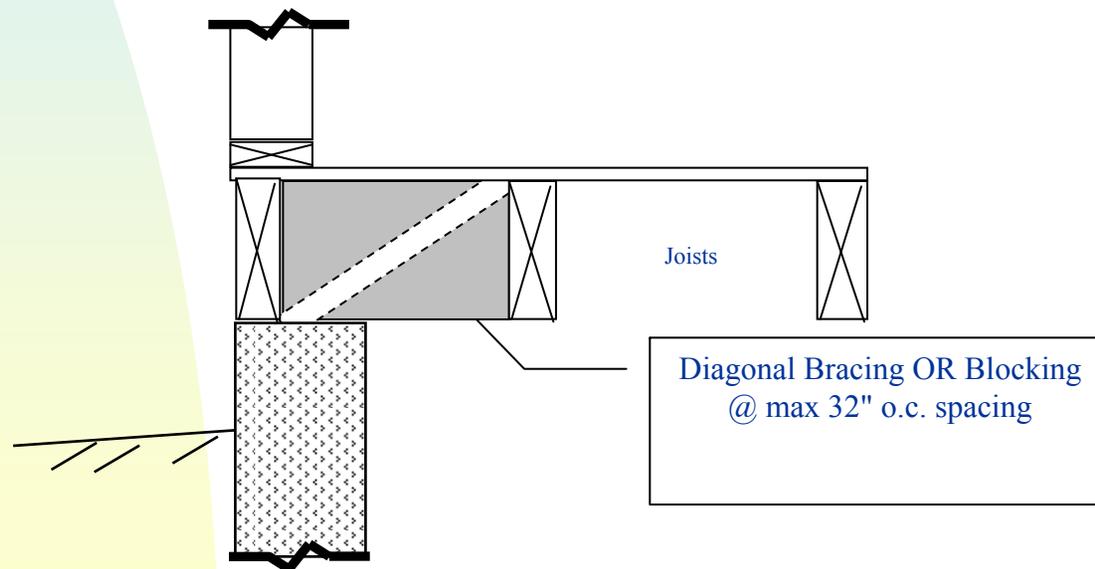
**Note:** *This situation will commonly occur with a walk-out basement.*



## **Comm 21.18 (1) (d) 1.**

**Note:** Per s. Comm 21.22 (1), sill plates are not required on foundation walls of poured concrete or on masonry walls with mortar- or grout-filled cores or on masonry walls with a solid block top course.

**Comm 21.18 (1) (d) 2. b. Blocking and bridging shall be the same depth as the joist.**



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**Comm 21.18 (3) (a) *Dampproofing.*** 1. Except as allowed under subd. 3., masonry block foundation walls shall be coated with a layer of minimum 3/8-inch thick type M or S portland cement mortar parging on the exterior of the wall from footing to finished grade.

2. Masonry foundation walls shall be damp-proofed by applying to the exterior surface of the portland cement parging from footing to finished grade, a continuous coating of one of the following:

**Comm 21.18 (4) WOOD FOUNDATIONS.** Wood foundations shall be designed and constructed in accordance with the standard adopted in Table 20.24-2.

**Note:** The department will accept Permanent Wood Foundations Design and Construction Guide published by the Southern Forest Products Association through the Southern Pine Council, as complying with this standard. The Design and Construction Guide requires a 3.5 inch thick floor slab if a poured concrete floor slab is used.

## Comm 21.22 (3) Girders and Beams

(d) Lateral restraint for all wood beams shall be provided at all columns using a saddle or similar approved connection where the beam meets one of the following conditions:

1. The beam is not restrained at both ends.
2. The beam is more than 11.25 inches deep using actual measurement.

***Note:*** A saddle supports the beam on the bottom and allows for the through-connection of fasteners into the side of the beam





01/07/2008

PACIFIC WOODTECH 1047  
05/07/05

APA EW  
2.0E-3100 F  
ICBO ES ER-554 E  
CCMC 13001  
A. CITY RR 2  
HI





**Comm 21.24 (2) DURING CONSTRUCTION.**

During construction, wall cavity insulation may not be installed until a water-resistant covering is in place over the wall cavity and windows, doors and a roof with at least underlayment are installed.

**Note:** An example of acceptable water-resistant covering for a wall is foam sheathing with permanently taped joints.

**Comm 21.24 (3) (c) 1.** Any joints between 2 pieces of flashing that form a vertical joint shall be lapped a minimum of 6 inches and sealed.

2. Any joints between 2 pieces of flashing that form a horizontal joint shall be lapped a minimum of 2 inches and sealed unless otherwise specified by the flashing manufacturer.

3. Sealants used for flashing shall be exterior grade and shall be compatible with the materials being sealed.

Comm 21.24 (4) WATER-RESISTIVE BARRIER REQUIREMENTS. (a) *General.* Exterior walls of wood or metal frame construction shall be provided with a water-resistive barrier from the highest point to the bottom of the permanent weather-resistant covering.

**Note:** *Acceptable water-resistive barrier materials include polymeric-based house wraps and spray-applied water-resistive barriers installed per the manufacturer's instructions and # 15 or greater asphalt-saturated felts that comply with ASTM D 226 for type I felt.*

(b) *Material compatibility.* The water-resistive barrier material shall be compatible with the other materials in the wall with which it will come into contact.

**Note:** *Spray-applied water-resistive barriers may not be compatible with foam plastic insulation.*

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## Comm 21.24 (4) WATER-RESISTIVE BARRIER REQUIREMENTS. (Cont'd)

(c) *Performance requirements.* 1. Polymer-based house wraps shall meet all of the following requirements:

a. A permeability rating of 5 or higher when tested in accordance with ASTM E96.

b. An acceptable water-resistance rating determined in accordance with ASTM D779, AATCC 127 or CCMC 07102.

**Note:** *Asphalt-saturated felt or "tar paper" is not a polymeric-based house wrap.*

**Note:** For more information on the water-resistance tests and their results, see the International Code Council Evaluation Services Acceptance Criteria AC 38.

2. Spray-applied water-resistive barriers shall be approved under the International Code Council Evaluation Services acceptance criteria AC 212.

## Comm 21.24 (4) WATER-RESISTIVE BARRIER REQUIREMENTS. (Cont'd)

(d) *Application.* 1. Horizontal seams in sheet or strip material shall be overlapped such that the upper layer extends over the lower layer at least 2 inches.

2. Vertical seams in sheet or strip materials shall be overlapped at least 6 inches.

3. Any rips, tears or voids shall be patched in accordance with subds. 1. and 2.

Comm 21.25 Table 21.25-A is repealed and recreated to read:

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	Laterally unsupported stud height <sup>a</sup> (feet)	Maximum spacing when supporting roof and ceiling only (inches)	Maximum spacing when supporting one floor, roof and ceiling (inches)	Maximum spacing when supporting two floors, roof and ceiling (inches)	Maximum spacing when supporting one floor only (inches)	Laterally unsupported stud height <sup>a</sup> (feet)	Maximum spacing (inches)
2 x 3 <sup>b</sup>	-	-	-	-	-	10	16
2 x 4	10	24	16	-	24	14	24
3 x 4	10	24	24	16	24	14	24
2 x 5	10	24	24	-	24	16	24
2 x 6	10	24	24	16	24	20	24

a. Listed heights are distances between points of lateral support placed perpendicular to the plane of the wall. Increases in unsupported height are permitted where justified by analysis.

b. May not be used in exterior walls.

\*\* EFFECTIVE APRIL 1, 2009



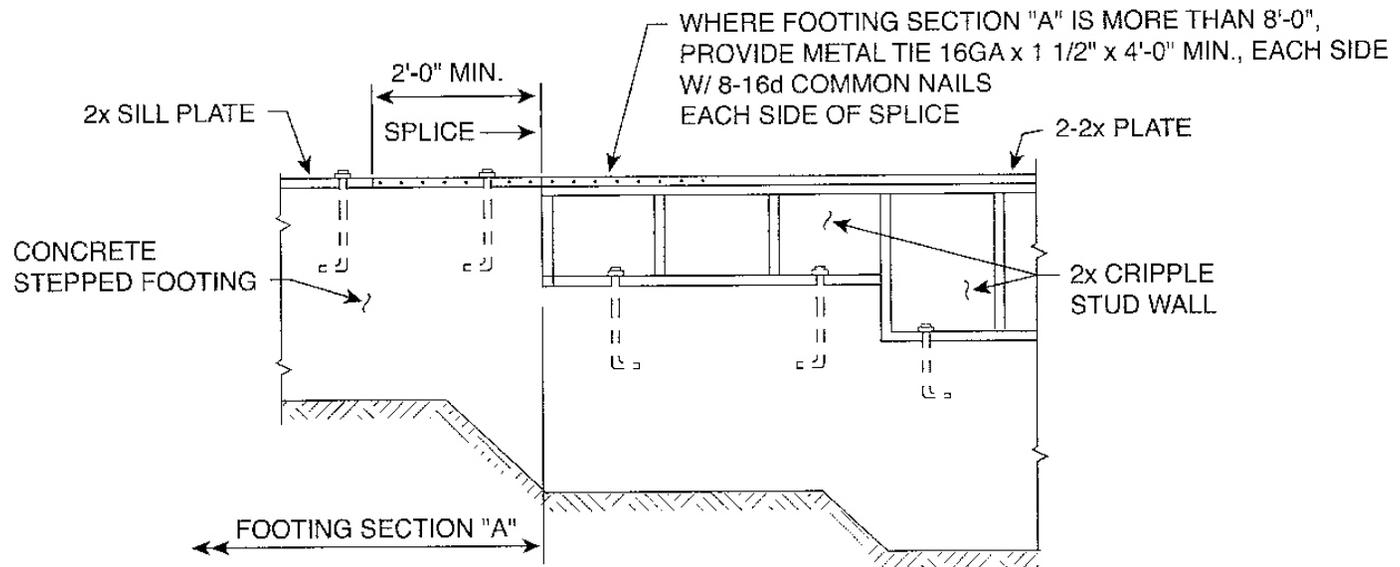
**Comm 21.25 (6) (a) 4.** All columns shall be positively attached to the beams they support using clips, straps or saddles.

\*\* EFFECTIVE APRIL 1, 2009

## Comm 21.25 (7) FOUNDATION CRIPPLE WALLS.

- (a) Foundation cripple walls shall be framed with studs at least as large as the studs above.
- (b) When more than 4 feet in height, cripple walls shall be framed with studs needed for an additional floor level.
- (c) Cripple walls with a stud height of less than 14 inches shall be sheathed on at least one side for its entire length with a wood structural panel that is fastened to both the top and bottom plates or the cripple walls shall be constructed of solid blocking.
- (d) Cripple walls with a stud height of 14 inches or greater shall be braced in accordance with sub. (8) or (9).
- (e) Cripple walls shall be fully supported by a continuous foundation.

\*\* EFFECTIVE APRIL 1, 2009



**NOTE:** WHERE FOOTING SECTION "A" IS LESS THAN 8'-0" LONG IN A 25'-0" TOTAL LENGTH WALL, PROVIDE BRACING AT CRIPPLE STUD WALL

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

**FIGURE 2308.11.3.2**  
**STEPPED FOOTING CONNECTION DETAILS**

**\*\* EFFECTIVE APRIL 1, 2007**

**Comm 21.26 (1) COLD WEATHER WORK.**

When ambient air temperature is below 40oF, the cold weather construction procedures under ACI 530.1 shall be followed.

**Note:** The requirements for cold weather work are in sections 1.8 and 1.8C of the 2005 edition of the ACI standard.

**Comm 21.26 (3) TYPES OF MORTAR.** (a) *Mortar specifications.* The type of mortar shall be determined from Table 21.26-A. The mortar shall conform to the requirements of ASTM C-270.

\*\* EFFECTIVE APRIL 1, 2009



**Comm 21.26 (5) (a) Corbels.**  
Corbels shall be constructed in  
accordance with ACI 530.

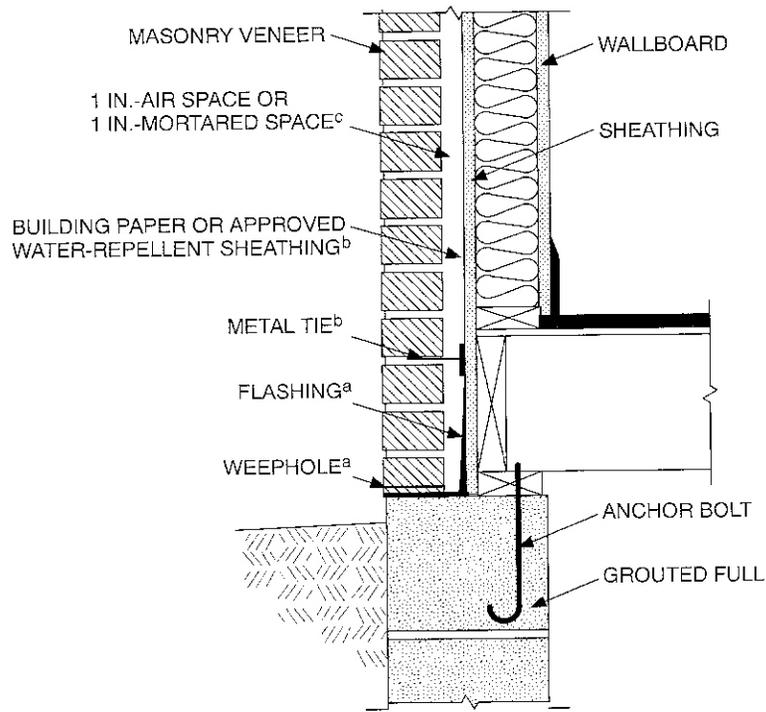
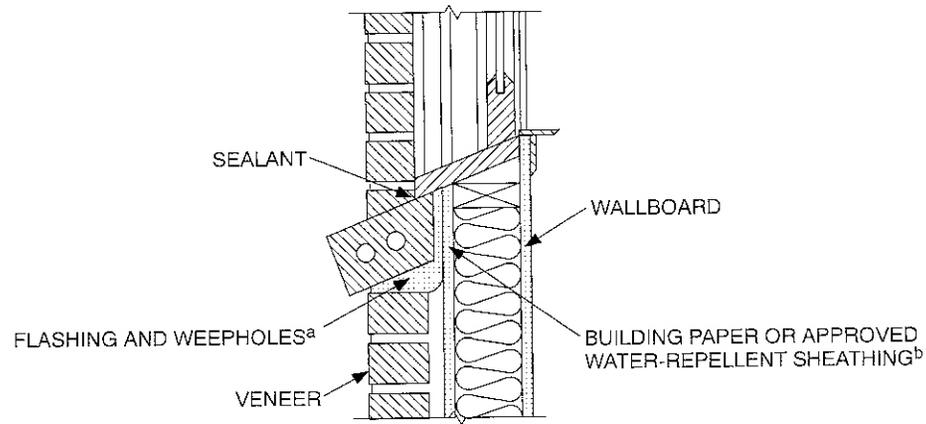
\*\* EFFECTIVE APRIL 1, 2009

## Comm 21.26 Masonry Walls

### (7) Masonry Veneers

- (a) 2. An A minimum one-inch air space shall be provided between the veneer and the sheathing unless a manufactured offset material is used.
  
- (a) 5. Ventilation openings shall be provided at the top of the wall.

**Note:** *The ventilation opening could be other than a weep hole.*



\*\* EFFECTIVE APRIL 1, 2009

## Comm 21.26 Masonry Walls (Cont'd)

### (7) Masonry Veneers

- (a) 6. Studs and sheathing behind masonry veneer shall be covered with material used to construct the water-resistive barrier as required under s. Comm 21.24 (4).

**Note:** *Acceptable water-resistive barrier materials include polymeric-based house wraps and # 15 or greater asphalt-saturated felts that comply with ASTM D 226 for type I felt.*

- (a) 7. Masonry or brick veneer shall be above final exterior grade unless there is through-wall flashing at grade or within two courses above grade.

Comm 21.26 (8) FLASHING. (a) *General.* 1. Flashing shall be installed in accordance with this section to drain any water outward away from structural members, sheathing and insulation.

2. Open joints or weep holes shall be provided in the facing immediately above the flashing at a horizontal spacing not exceeding 2 feet.

3. Flashing shall consist of materials that are durable and permanently UV-resistant such as sheet metal or heavy gauge PVC.

**Note:** *Materials including house wrap, asphalt-impregnated building paper, plastic sheeting, peel-and-stick rubberized sheet material, and light gauge PVC are not acceptable as meeting this requirement.*

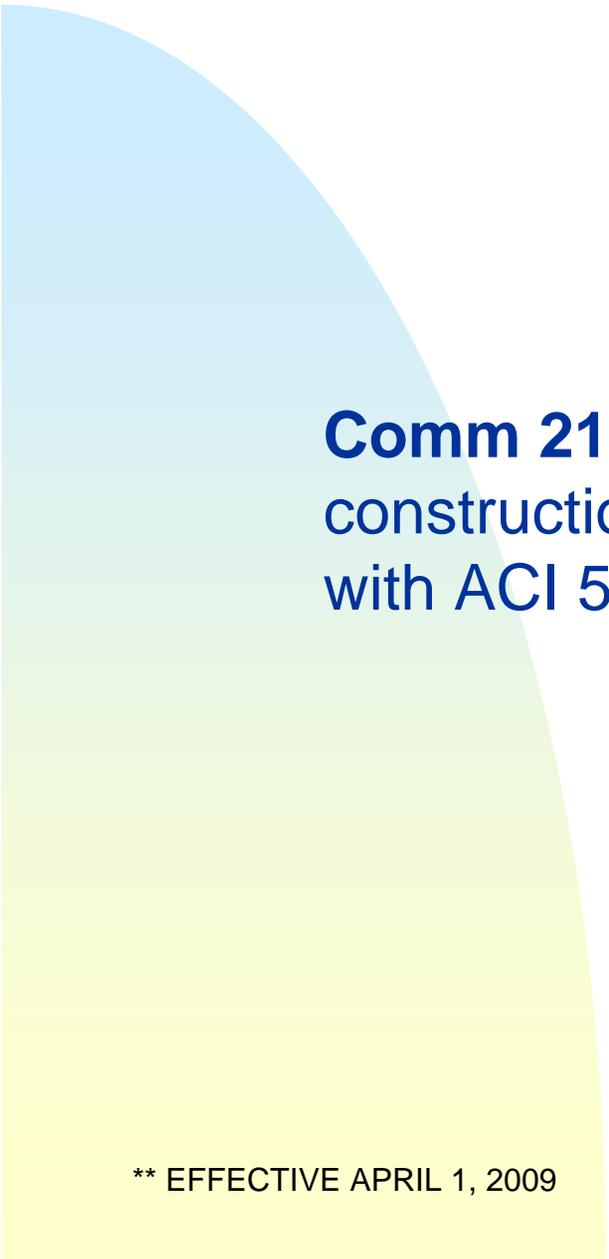
(b) *Location*. 1. 'Lintels and chimneys'. In exterior hollow masonry walls, flashing shall be installed at the backsides of chimneys and at the bottom of the cavity formed by openings such as lintels over doors and windows.

2. 'Veneer'. Flashing shall be installed at the bottom of veneer and shall extend over the top of the foundation and up at least 8 inches and be embedded in the backing course.

(c) *Weep holes*. 1. Weep holes may not be placed below final grade.

2. Rope or similar material used to form a weep hole shall be removed as soon as the mortar sets.

3. Weep holes shall be 3/8-inch minimum diameter.



**Comm 21.26 (12) JOINTS.** Joints in masonry construction shall be constructed in accordance with ACI 530.1.

\*\* EFFECTIVE APRIL 1, 2009

## **Comm 21.27 Roof design and framing. (1)**

(b) *Applicability of tables.* The joist and rafter tables in the appendix are valid for roofs with a minimum slope of 3 in 12. Lesser slopes require engineering analysis or shall be provided with a ridge beam.

## **Comm 21.28 Weather protection for roofs.**

**(6) REROOFING.** New roof coverings may not be installed over existing roof coverings where any of the following conditions exist:

- (a) The existing roof or roof covering is water-soaked or has deteriorated such that it is inadequate as a base for additional roofing.
- (b) The existing roof is wood shake, slate, clay, cement or asbestos-cement tile.
- (c) The existing roof has 2 or more applications of any type of permanent roof covering.

## **Comm 21.28 Weather protection for roofs.**

### *(d) Chimney flashing.*

3. The intersection of the cricket and the chimney shall be flashed and counter-flashed to a height of at least 6 inches.

**Comm 21.40 (2)** (b) 13. a. Each pier shall be capped with a solid concrete block at least 4 inches thick or a solid wood block having a nominal thickness of at least 2 inches.

b. The cap shall be the same width and length as the top of the pier.

c. The cap shall consist of no more than 2 pieces.

d. Two-piece caps shall be positioned with the joint perpendicular to the main frame.

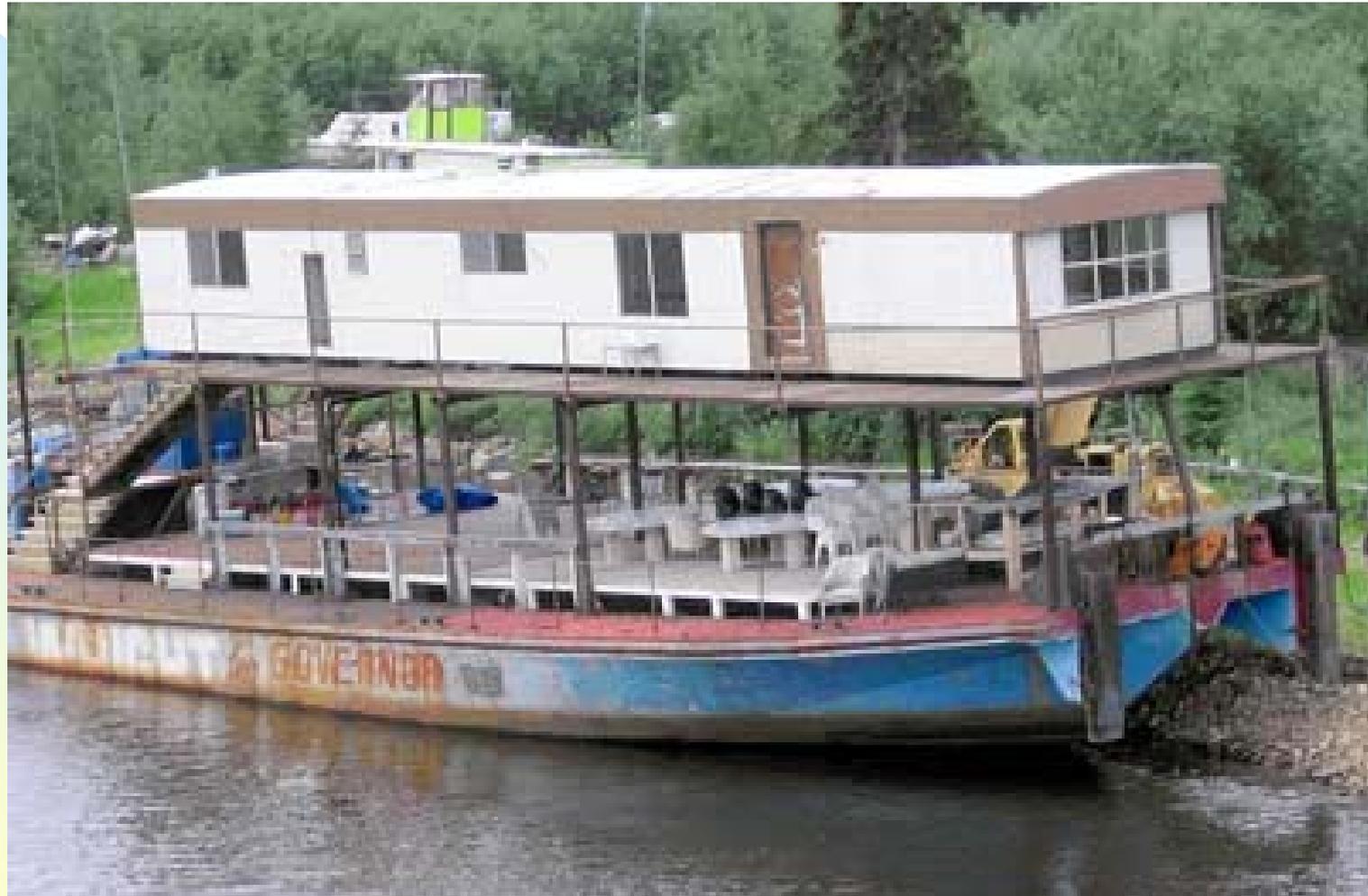
# Manufactured Home Program



\*\* EFFECTIVE JANUARY 1, 2007

## Manufactured Home Installer License - Comm 5.327





**\*\* EFFECTIVE JANUARY 1, 2007**

No person may install a manufactured home onto a foundation or other support system unless the person complies with one of the following conditions:

- 1. The person holds a license issued by the department as a licensed manufactured home installer.
  
- 2. The person is under the general supervision of another person who holds a license issued by the department as a licensed manufactured home installer.

# RESPONSIBILITIES.

- A person who installs or supervises the installation of manufactured homes as a licensed manufactured home installer shall be responsible for compliance with the installation requirements in chs. Comm 21 and 27.



\*\* EFFECTIVE JANUARY 1, 2007

**\*\* EFFECTIVE APRIL 1, 2007**

**Manufactured Home Installations became  
Regulated in the  
Uniform Dwelling Code (UDC)  
Comm 20 to 25**



# **Chapter Comm 21**

## **– Construction Standards**

\*\* EFFECTIVE APRIL 1, 2007



## Comm 21.40 Installation standards.

- **(1)(a)** The installation of a manufactured home produced on or after April 1, 2007 shall comply with procedures acceptable to the department.

\*\* EFFECTIVE APRIL 1, 2007



- For homes produced on or after April 1, 2007 the installation must comply with Comm 21.40 (1).



- These installation standards mirror Federal regulations, 24 CFR Part 3285.
- As these are now in the UDC they are “uniform” standards.
- Municipalities may not be more or less restrictive.

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## S&B Manufactured / Mobile Home Program

### NEWS

**Recently changed forms**

\* SBD-10693  
Statement of Transfer of Manufactured Homes to an Heir or Surviving Spouse (R1/09), [PDF File](#), [Word File](#)

\* SBD-10675  
Manufactured Home Community License Application (R01/09), [PDF file](#), [Word file](#)

\* SBD-10885

**Program Description :** The Safety and Buildings Division of the Wisconsin Department of Commerce regulates various aspects of manufactured housing. Staff members also provide services relating to consultation, education, inspection and complaint investigation.

- S&B serves as the "**State Administrative Agency**" under the federal Housing and Urban Development Manufactured Homes Program. [GO](#)
- S&B staff issue titles for manufactured/mobile homes.
  - \* For titling forms, [GO](#)
  - \* For explanation of specific titling situations and links to the forms needed [GO](#)
- S&B licenses manufactured home dealers and salespersons.
  - \* [Info PDF file](#)
  - \* See dealer-related forms [GO](#)

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- Manufactured Housing Code Advisory [Council](#)

- Landlord/tenant issues are handled by the state Department of Agriculture and Consumer Protection, <http://datcp.state.wi.us/>, 800-422-7128.

---

**Information Resources**

Per Comm 20.09(4)(b), **foundation systems serving manufactured homes** may be designed by structural analysis but do not need to be signed and sealed by a registered professional.

1 → Here is a [PDF file](#) concerning an **acceptable slab on grade foundation system** for manufactured homes, prepared by Larry Swaziek, S&B Manufactured Home and Uniform Dwelling Code Program Manager.

2 → Also here, [PDF file](#), is a "Manufactured Home Installation Manual for Homes Produced On or After April 1, 2007," which includes federal Housing and Urban Development (HUD) "Draft December 8, 2005 Installation Standards."

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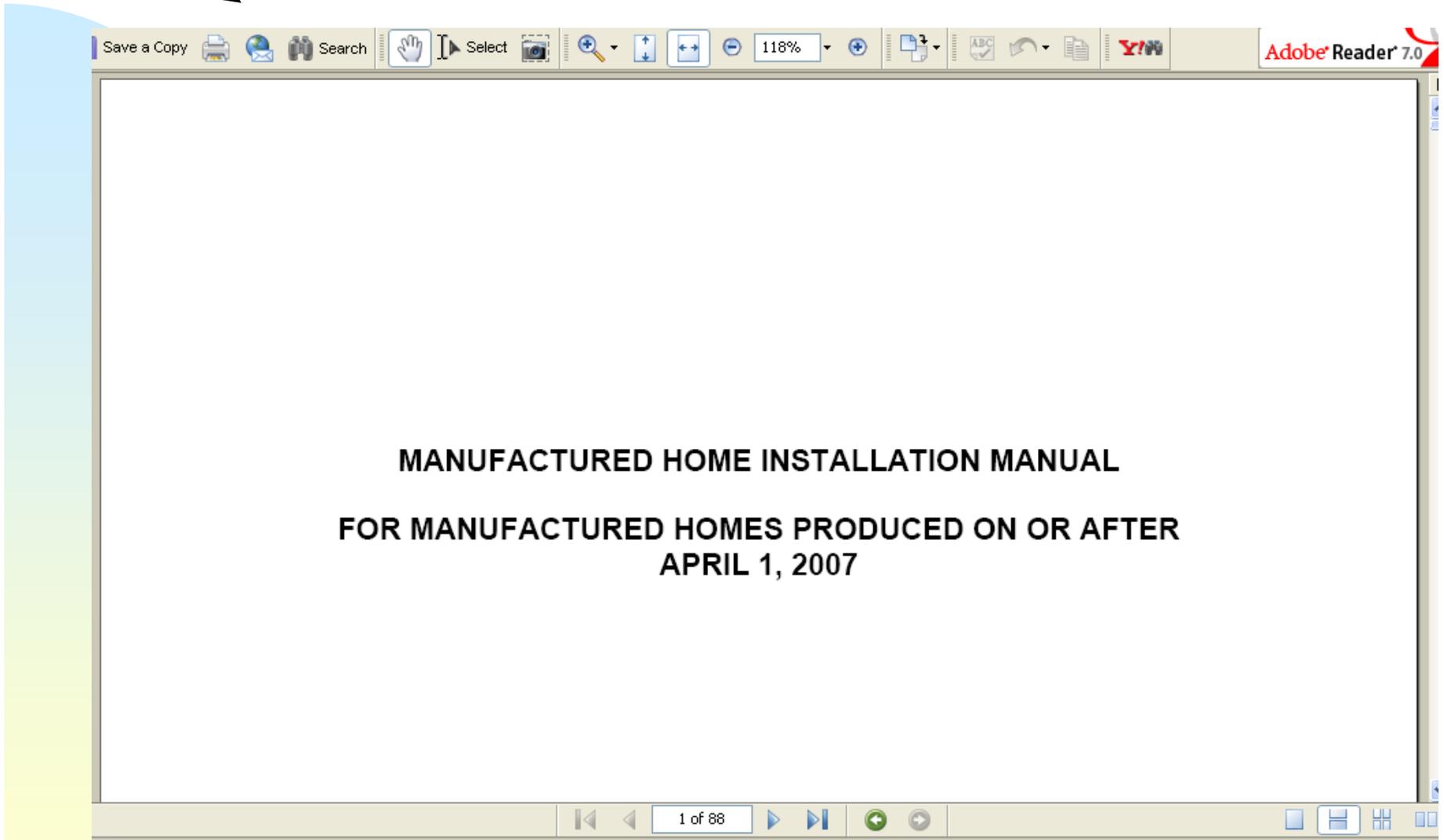
[County Web sites](#) || [City/Town/Village Web sites](#) || [State Portal](#) || [Build Your Business](#)

Email this page's manager. Todd Taylor. [ttaylor@commerce.state.wi.us](mailto:ttaylor@commerce.state.wi.us) or 608-

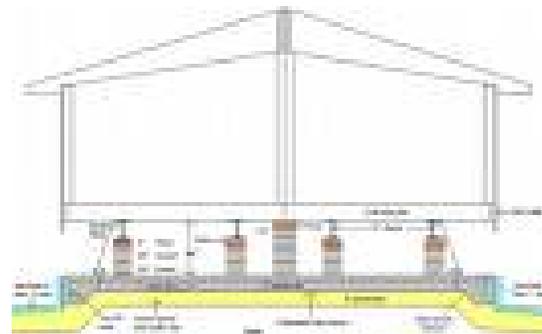
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1



- In accordance with these installation standards the footings must be frost protected and the home must be anchored.



- Comm 21.16 Frost Protection

(1) 48 inches

(2) Exceptions:

Floating Slabs

Grade Beams

Stoops and Ramps

Provided measures are taken to prevent frost forces from damaging the structure

2

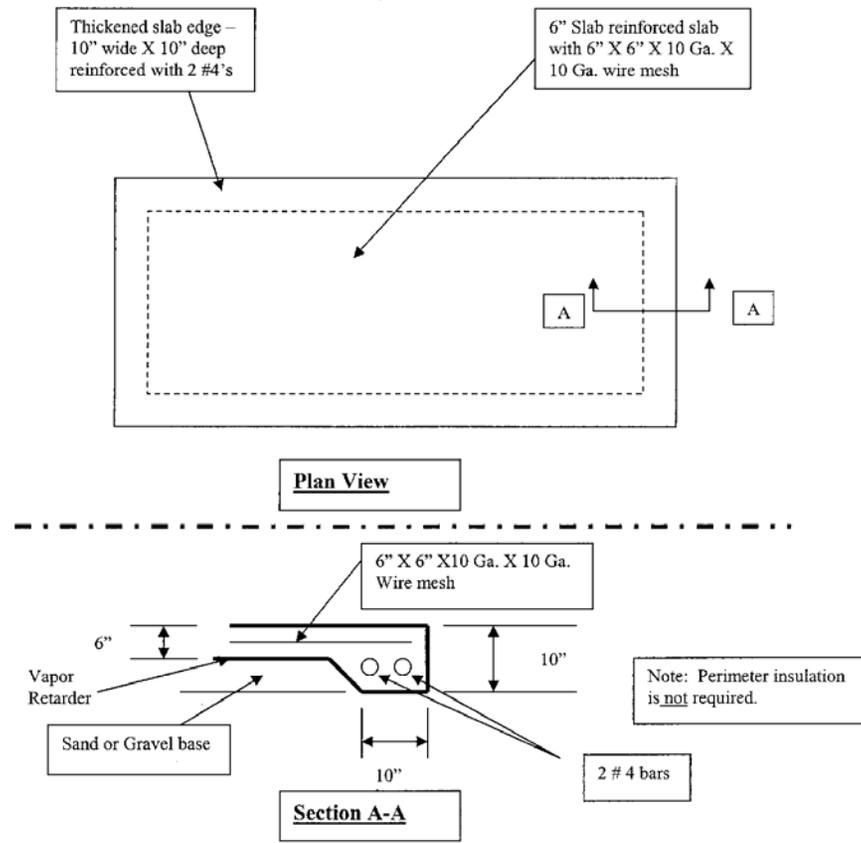


- To aid submitters of plans and the inspectors themselves the department developed the acceptable slab on grade for pier installations.

<http://commerce.wi.gov/SBdocs/SB-UDC2140ManfSlab.pdf> ]

Acceptable slab on grade for  
pier supported manufactured home  
produced on or after April 1, 2007.

[Comm 21.40 (1)]



Larry Swaziek  
5.18.07

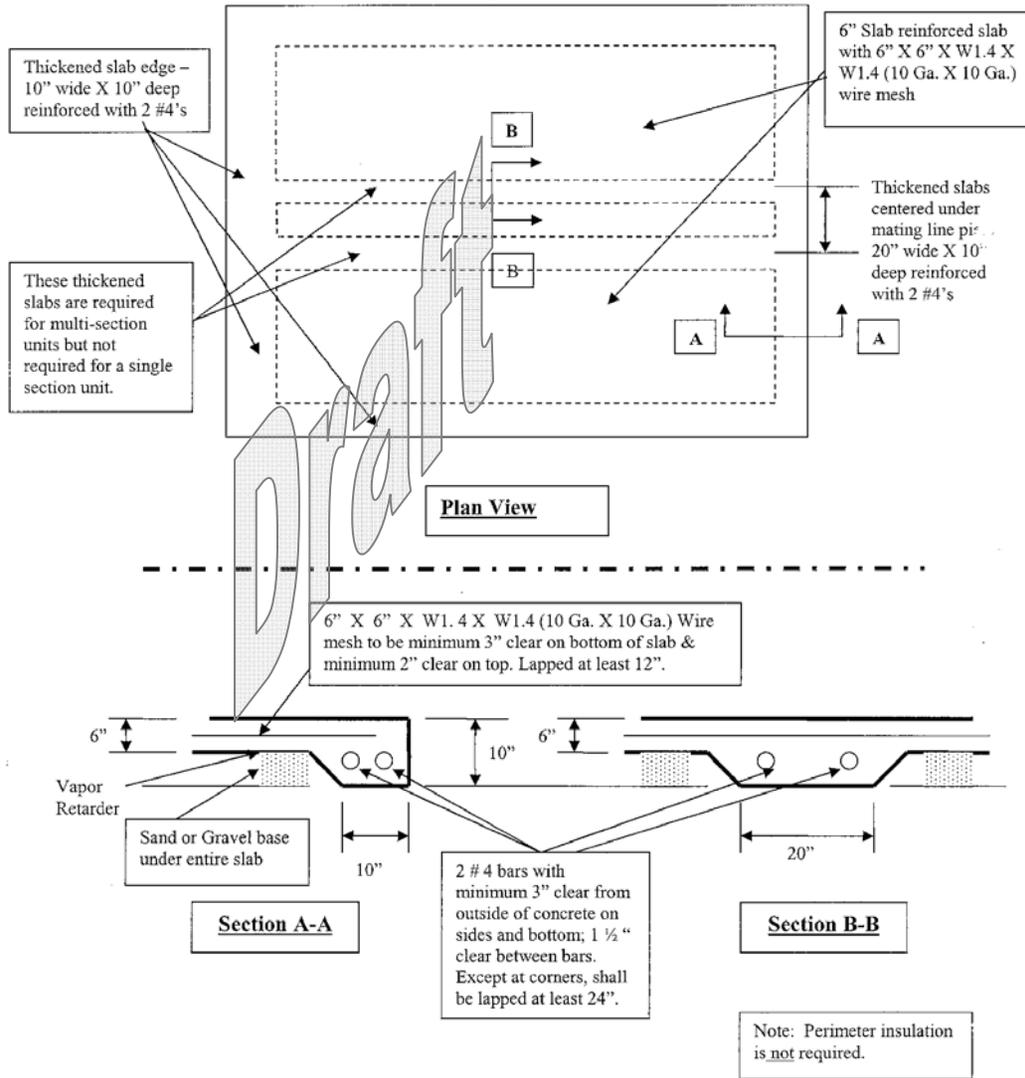
## Limitations:

1. Minimum 3,000 psi Concrete. [3285.312 (b) (ii)]
2. Rebar and mesh at least grade 40.
3. Soil Bearing capacity at least 2,000 psf [Comm 21.40 (2) (b) 2. and 3285.312 (b) (ii)]
4. Placed on undisturbed soil. Shall not be placed on unprepared fill material, organic soil, alluvial soil or mud. [Comm 21.40 (2) (b) 1. and HUD 3285.312 (a)]
5. 8 to 10" of clean graded sand, gravel or crushed stone base in clay soils [Comm 21.20 (2) with added thickness to resist frost.]
6. 6 mil vapor retarder overlapped 12 inches and sealed. [3285.204]
7. Maximum pier spacing of 7 feet with max load per pier of 5, 300 lbs [Comm 21.40 (2) (b) 10. and HUD 3285 (e), Table.]
8. Site shall drain away from the home per Comm 21.12.
9. The water table shall not be above the frost penetration depth, i.e. at least 4 feet below grade. [Comm 21.15 (2) (a)]

**Acceptable slab on grade for  
pier supported manufactured home  
produced on or after April 1, 2007.**

[Comm 21.40 (1)]

Draft 1/26/09



Larry Swaziek  
1.26.09

## Limitations:

1. Minimum 3,000 psi Concrete. [HUD 3285.312 (b) (ii)]
2. Rebar and mesh at least grade 40.
3. Soil Bearing capacity at least 2,000 psf [Comm 21.40 (2) (b) 2. and HUD 3285.312 (b) (ii)]
4. Placed on undisturbed soil. Shall not be placed on unprepared fill material, organic soil, alluvial soil, mud, or frozen soil. [Comm 21.40 (2) (b) 1. and HUD 3285.312 (a)]
5. 8 to 10" of clean graded sand, gravel or crushed stone base in clay soils [Comm 21.20 (2) with added thickness to resist frost.] Compaction of sand etc, should 95% of modified Proctor.
6. 6 mil vapor retarder overlapped 12 inches and sealed. [HUD 3285.204]
7. Maximum pier spacing of 7 feet with max load per pier of 5, 300 lbs. when placed on 6" thick slab. [Comm 21.40 (2) (b) 10. and HUD 3285 (e), Table.]
8. Maximum load per pier of 11,900 lbs. at mating line when centered on the 20" W. X 10" D. thickened slab, Section B-B, reinforced with 4 - #4 bars. Individual pier footings at mating line meeting sizing requirements s.3285 (e), Table may be used in lieu of continuous thickened slab. [HUD 3285 (e), Table.]
9. Site shall drain away from the home per Comm 21.12. Ensure drainage of sand fill zone so that any clay does not cause water to pool under the slab.
10. The water table shall not be above the frost penetration depth, i.e. at least 4 feet below grade. [Comm 21.15 (2) (a)]
11. Saw cut joints in slab so that sections are approximately square. (Example: 16' by 76'<sup>155</sup> slab = 4 segments.)

1. Minimum 3,000 psi Concrete. [3285.312 (b) (ii)]

## **§ 3285.312 Footings.**

### **(b) Acceptable types of footings.**

**(1) Concrete.** Footings are to be either:

(ii) 6-inch minimum poured-in-place concrete pads, slabs, or ribbons with at least a 28-day compressive strength of 3,000 pounds per square inch (psi). Cast-in-place concrete footings may also require reinforcing steel based on acceptable engineering practice, the design loads, and site specific soil conditions.

4. Placed on undisturbed soil. Shall not be placed on unprepared fill material, organic soil, alluvial soil, mud, or frozen soil. [Comm 21.40 (2) (b) 1. and HUD 3285.312 (a)]

### **§ 3285.312 Footings.**

- (a) Materials approved for footings must provide identical load-bearing capacity and resistance to decay as required by this section. Footings must be placed on undisturbed soil or fill compacted to 90 percent of maximum relative density. A footing must support every pier.

6. 6 mil vapor retarder overlapped 12 inches and sealed.  
[HUD 3285.204]

## § 3285.204 Ground moisture control.

- (a) **Vapor retarder.** If the space under the home is to be enclosed with skirting or other materials, a vapor retarder must be installed to cover the ground under the home, unless the home is installed in an arid region with dry soil conditions
- (b) **Vapor retarder material.** A minimum of six mil polyethylene sheeting or its equivalent must be used.
- (c) **Proper installation. (1)** The entire area under the home must be covered with the vapor retarder as noted in 3285.204(a) except for areas under open porches, decks, and recessed entries. Joints in the vapor retarder must be overlapped at least 12 inches and sealed

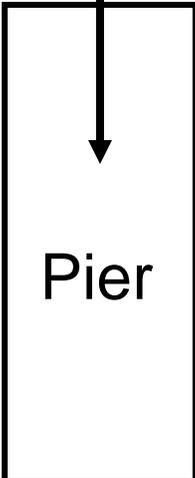
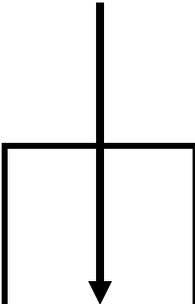
7. Maximum pier spacing of 7 feet with max load per pier of 5,300 lbs [Comm 21.40 (2) (b) 10. and HUD 3285 (e), Table.]

## § 3285.312 Footings.

(e) The Size and capacity for unreinforced cast-in-place footings

Soil Capacity (psf)	8 in. × 16 in. Pier			16 in. × 16 in. Pier	
	Minimum Footing Size (in.)	Maximum Footing Capacity (lb)	Unreinforced Cast-in-Place Minimum Thickness (in.)	Maximum Footing Capacity (lb)	Unreinforced Cast-in-Place Minimum Thickness (in.)
2,000	16 × 16	3,400	6	3,400	6
	20 × 20	5,300	6	5,300	6
	24 × 24	7,600	8	7,700	6
	30 × 30	11,600 <sup>4</sup>	10	11,900	8
	36 × 36	16,300 <sup>4</sup>	15	16,900 <sup>4</sup>	10

House Load



Pier



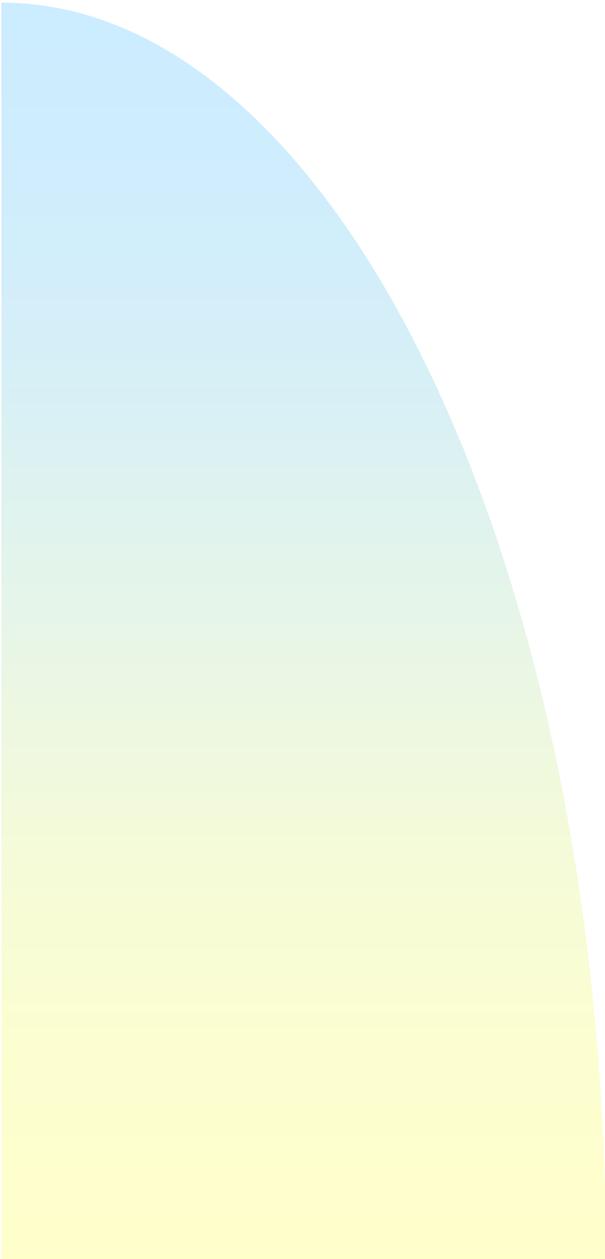
Footing



Soil Pressure



Potential for Cracking

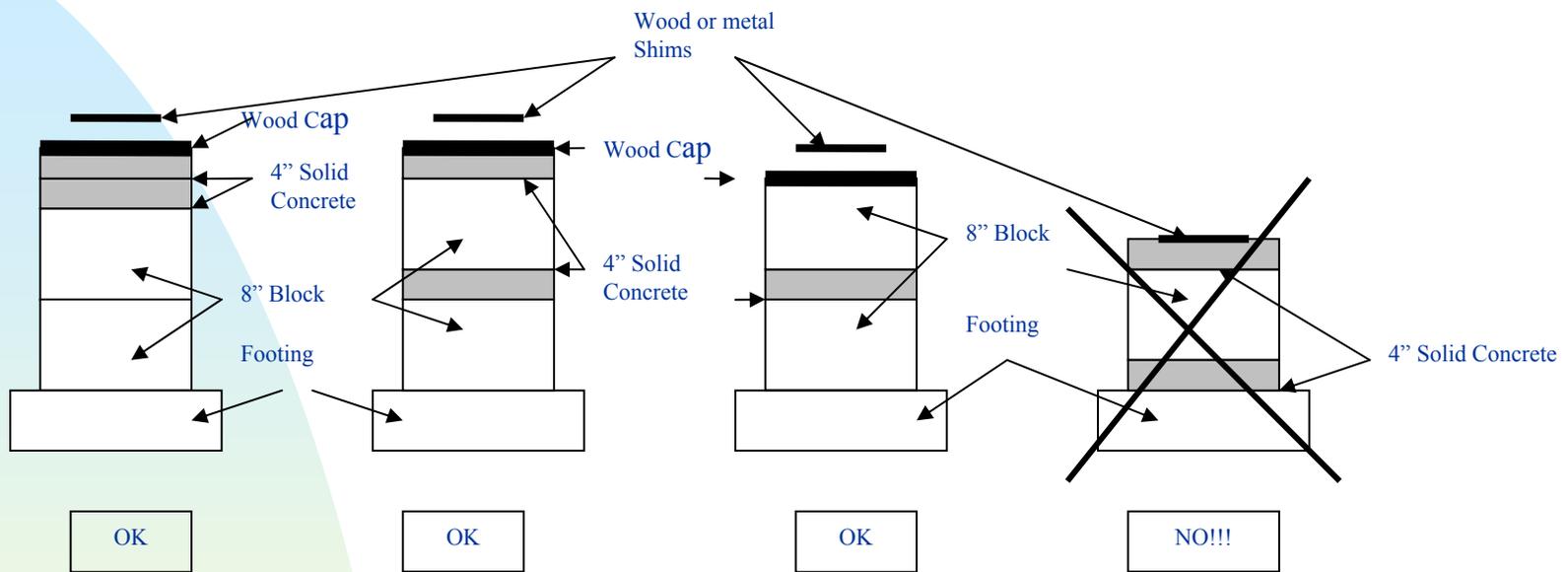




**MANUFACTURED HOME INSTALLATION  
MANUAL  
FOR MANUFACTURED HOMES PRODUCED  
ON OR AFTER APRIL 1, 2007  
*(Revised February 19, 2009)***

**9. Pier configuration – Caps, Gaps and associated diagrams [3285.304 (b) (2) & (c) (3), Fig A 3285.306, Fig. B 3285.306(b)].** Substitute the following wording for the requirements in 3285.304 (b) (2): A combination of up to two - 4” thick solid concrete blocks and no more than one 2” thick piece of hardwood lumber shall be permitted as cap material. If a pier is provided with a cap block of 4” concrete or 2” lumber, a second 4” concrete block may be placed anywhere in the pier but may not be placed directly upon the footing. See example below.

**10. Pier configuration - Caps, Gaps and associated diagrams [3285.304 (b) (2) & (c) (3), Fig A 3285.306, Fig. B 3285.306(b)].** This is a department requirement in addition to the requirements in 3285.304 (b) (2) & (c) (3): Lumber used as cap and gap filler material may be of 2” nominal lumber at least equal to No. 2 spruce pine fir having a minimum fiber bending stress rating of 1200 psi. All lumber used as cap and gap filler material shall be the same species of wood. Lumber used to fill a gap in the pier shall only be placed at the top of the pier.



Pier Configuration Examples

## Comm 21.40 Installation standards.



- **(2)(a)** Except as provided in par. (b), the installation of a manufactured home produced before April 1, 2007 shall be installed in conformance with the requirements in effect at the time the manufactured home was produced.
- **(b)** The installation of a manufactured home produced before April 1, 2007 to be installed on piers shall conform to at least all of the following requirements: (OLD COMM 27)

\*\* EFFECTIVE APRIL 1, 2007







# UDC and Manufactured Home Contacts







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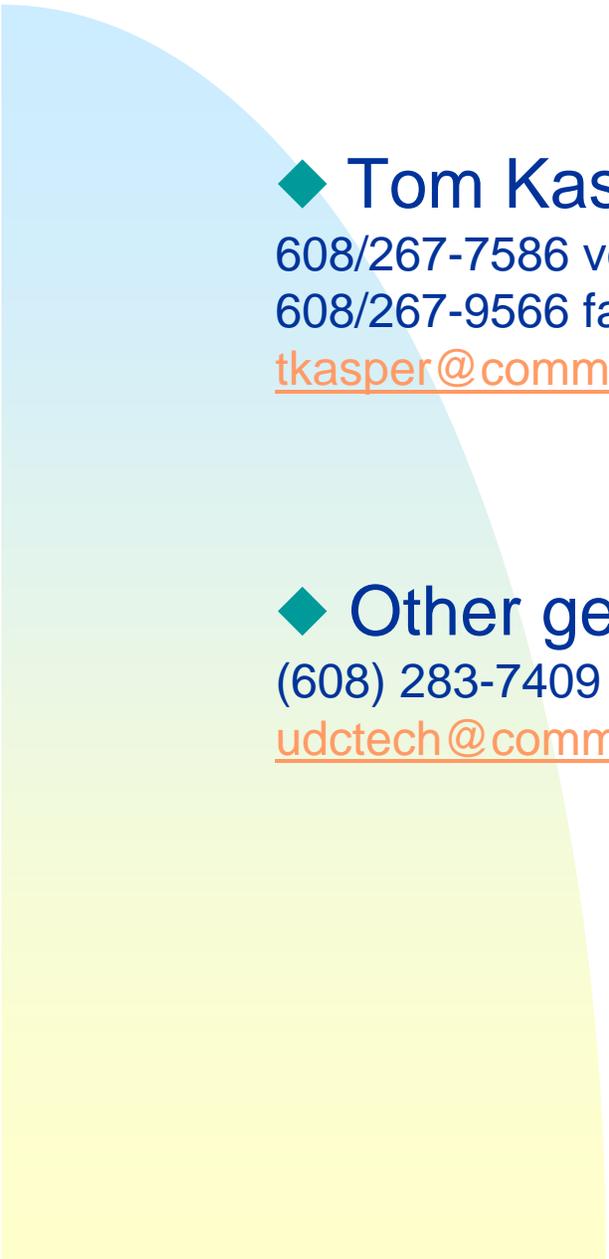
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[bferris@commerce.state.wi.us](mailto:bferris@commerce.state.wi.us)



◆ Tom Kasper, UDC Section Chief

608/267-7586 voice

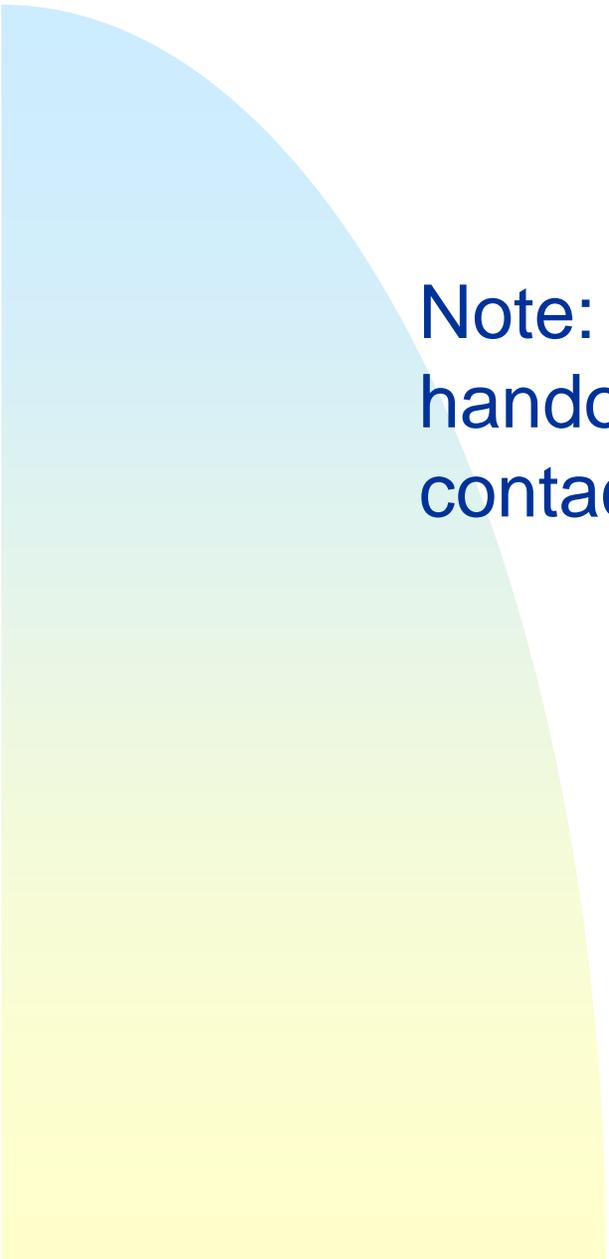
608/267-9566 fax

[tkasper@commerce.state.wi.us](mailto:tkasper@commerce.state.wi.us)

◆ Other general questions

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[udctech@commerce.state.wi.us](mailto:udctech@commerce.state.wi.us)



Note: The last page of the handout includes a UDC staff contact list.

# Websites

- **Department of Commerce**
  - ◆ [www.commerce.wi.gov](http://www.commerce.wi.gov)
- **Safety and Buildings Home Page**
  - ◆ [www.commerce.wi.gov/SB](http://www.commerce.wi.gov/SB)
- **Commerce Codes**
  - ◆ [www.commerce.wi.gov/SB/SB-DivCodes.html](http://www.commerce.wi.gov/SB/SB-DivCodes.html)
- **Wisconsin Administrative Codes**
  - ◆ [www.legis.state.wi.us/rsb/code/codtoc.html](http://www.legis.state.wi.us/rsb/code/codtoc.html)

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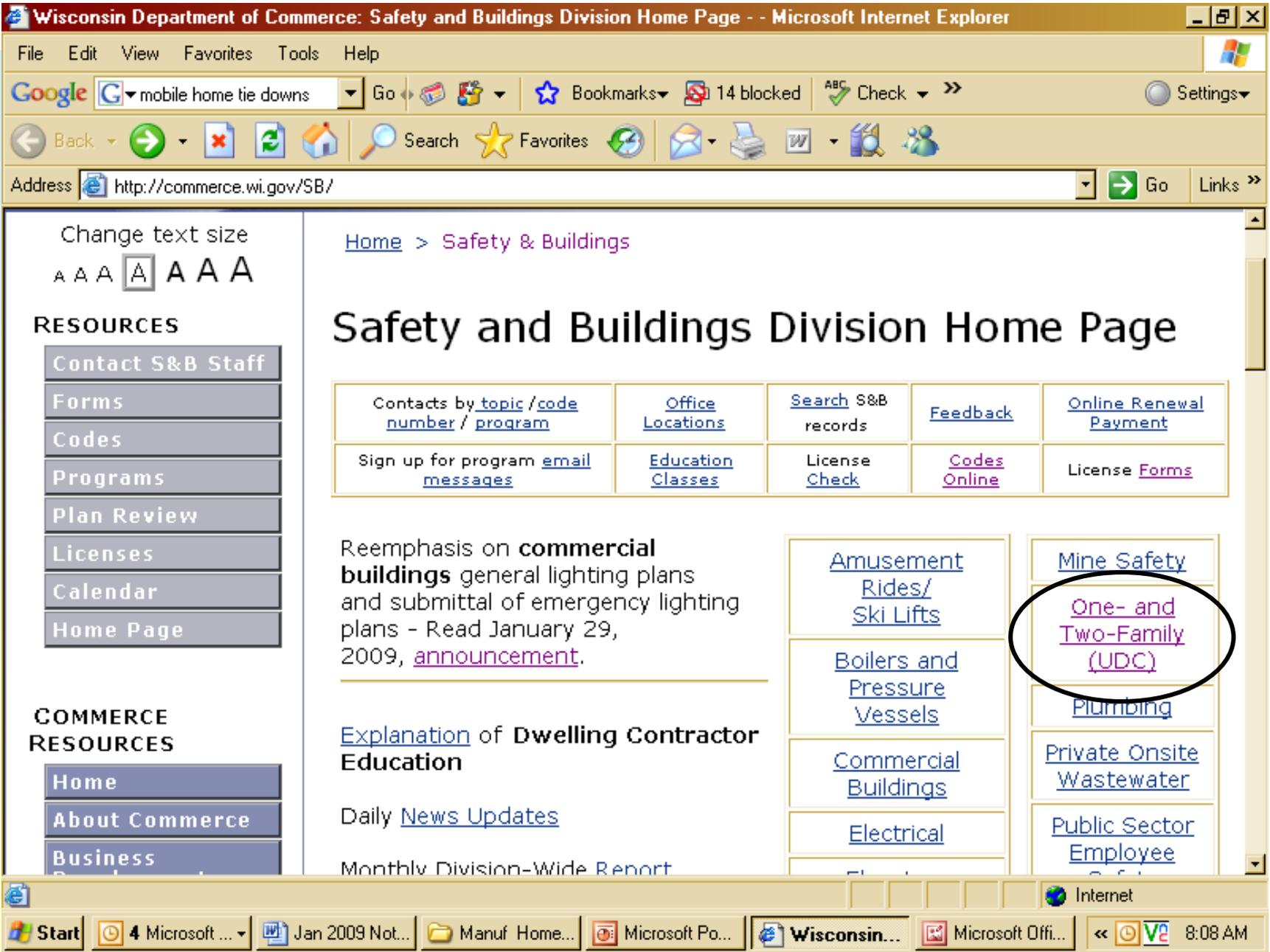
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<a href="#">Sign up for program <a href="#">email messages</a></a>	<a href="#">Education Classes</a>	<a href="#">License Check</a>	<a href="#">Codes Online</a>	License <a href="#">Forms</a>

Reemphasis on **commercial buildings** general lighting plans and submittal of emergency lighting plans - Read January 29, 2009, [announcement](#).

<a href="#">Amusement Rides/ Ski Lifts</a>	<a href="#">Mine Safety</a>
<a href="#">Boilers and Pressure</a>	<a href="#">One- and Two-Family (UDC)</a>
	<a href="#">Plumbing</a>

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# S&B Uniform Dwelling Code Program (One- and Two-Family Dwellings)

### NEWS

**2009 Winter Inspector Updates .**  
Classes about the Uniform Dwelling Code, Commercial Building Code, and about electrical aspects of both codes. From January 26 through March 19, 2009, presented by S&B in cooperation with the four state building inspector associations. See [PDF brochure](#) that will be mailed in early December to people eligible for S&B continuing education credits.

Important [Explanation](#) of Dwelling Contractor Education

**Program Description :** The Uniform Dwelling Code (UDC) is the statewide building code for one- and two-family dwellings built since June 1, 1980. Consultation and education are provided concerning Uniform Dwelling Code (UDC) construction standards and inspection procedures. Building materials are evaluated for conformance with standards. UDC inspection and contractor credentials are administered. **There is enforcement of the UDC in all Wisconsin municipalities.**

- UDC Program contacts [GO](#)

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Any Questions?

